



**OPEN MEETING**

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL  
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Tuesday, May 28, 2019 – 1:30 p.m.  
Laguna Woods Village Community Center Board Room  
24351 El Toro Road**

**NOTICE AND AGENDA**

1. Call to Order
2. Acknowledgement of Media
3. Approval of the April 22, 2019 Report
4. Approval of the Agenda
5. Chair Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Department Head Update

**Consent:**

*All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

**Items for Discussion and Consideration:**

**Variance Requests:**

8. 3391-B (Malaga, P102A/P42) - Patio Enclosure on Previously Extended Common Area
9. 3461-C (Andaluz, P203A/P43) - Room Extension on Previously Extended Common Area

**Standards Discussion Items:**

10. Review Standard 4: Air Conditioning Units/Heat Pumps
11. Review Standard 38: Patio Enclosures

**Reports**

12. Status of Mutual Consents

**Concluding Business:**

13. Committee Member Comments
14. Date of next meeting – Monday, June 24, 2019
15. Adjourn

Steve Parsons, Chair  
Brett Crane, Staff Officer  
Eve Morton, Coordinator: 949-268-2565



**OPEN MEETING**

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL  
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, April 22, 2019 – 9:30 a.m.  
Laguna Woods Village Community Center Board Room  
24351 El Toro Road**

**REPORT**

**COMMITTEE MEMBERS PRESENT:** Chair – Steve Parsons, Roy Bruninghaus, John Frankel, Lynn Jarrett

**COMMITTEE MEMBERS ABSENT:** Reza Karimi and Advisor Mike Plean

**OTHERS PRESENT:**

**ADVISORS PRESENT:** Mike Butler

**STAFF PRESENT:** Brett Crane, Eve Morton

**1. Call to Order**

Chair Parsons called the meeting to order at 9:30 a.m.

**2. Acknowledgement of Media**

No media were present.

**3. Approval of March 25, 2019 Report**

Director Jarrett moved to approve the report. Director Bruninghaus seconded. The committee was in unanimous support.

**4. Approval of the Agenda**

Director Frankel made a motion to approve the agenda. Director Bruninghaus seconded. The committee was in unanimous support.

**5. Committee Chair Remarks**

None

**6. Member Comments - (Items Not on the Agenda)**

Mr. Stolsman (3248-B) stated that he wanted reimbursement for some water damage. Staff referred him to the correct person for submittal of his request.

## **7. Department Head Update**

Mr. Crane stated that at the last meeting, Director Carpenter asked that he write a report on allowing Staff some flexibility on small changes made to approved variance requests. He spoke to her about the current process for this and both agreed a report was not needed.

### Consent:

*All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

None.

### Items for Discussion and Consideration:

#### Variance Requests:

## **8. Revisit 3213-D (La Reina, PL704RB, P43B) Room Extension onto Previously Extended Common Area**

Director Frankel made a motion to accept Staff's recommendation and deny the request for the room extension onto previously extended Common Area. However, the committee would allow the room extension to be constructed on the original patio slab and retain the patio extension on the previously granted Common Area. Director Bruninghaus seconded. Advisor Mike Butler abstained and the remaining committee members were in support. The motion passed.

## **9. 2371-C (Cordoba, AB04\_1) Room Extension on Original Exclusive Use Patio Area and Bathroom Relocation to Enclosed Atrium**

Director Bruninghaus made a motion to accept Staff's recommendation and approve this request. Advisor Butler seconded. The committee was in unanimous support.

### Standards Discussion Items:

## **10. Review Standard 40: Exterior Roll-Up Shades (Sun Screens)**

Director Jarrett made a motion to accept Staff's recommendation and approve the updates to the Standard. Director Bruninghaus seconded. The Committee was in unanimous support.

## **11. Discuss Current Standard 4: Air Conditioning Units/Heat Pumps**

The committee proposed some changes to this Standard and asked Staff to bring a redline of committee's proposed updates to the next committee meeting.

### Reports

## **12. Status of Mutual Consents**

Mr. Fogg reviewed this report with the committee.

Concluding Business:

**13. Committee Member Comments**

None.

**14. Date of next meeting – Monday, May 27, 2019**

**15. Adjourned at 10:14 am.**

A handwritten signature in dark ink, appearing to read "S W Parsons", is written over a horizontal line.

Chair, Steve Parsons  
Brett Crane, Staff Officer  
Eve Morton, Alterations Coordinator, 268-2565





## STAFF REPORT

---

**DATE:** May 28, 2019  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Variance Request  
Ms. Esther Wen of 3391-B (Malaga, P102A/P42)  
Patio Enclosure on Previously Extended Common Area

---

### **RECOMMENDATION**

Staff recommends the Board deny the request to construct a patio enclosure on a previously extended Common Area patio. Should the Board approve the request, Staff recommends it be with the conditions in Appendix A.

### **BACKGROUND**

Ms. Wen of 3391-B Punta Alta, a Malaga style unit, is requesting Board approval of a variance to construct a patio enclosure on the previously extended rear patio of her unit.

The original patio was a 'U-shape', made up of three sections (Appendix B) totaling 26'11" wide and ranging from 2'6" to 8' in length. The patio slab was extended (approx. 173 sq.ft.) and enclosed with a 40" tall wall and patio cover, via Mutual Consent in August 1974, to create a 30' wide by 11' long rear patio. There is no Land Use Agreement on file.

Using the Tract Map, Condominium, and Foundation Plans for Unit 3391-B, Staff determined the area of the proposed room extension falls under on a combination of designated Common Area that was previously extended upon, as well as original Common Area for the Exclusive Use for the Owner/Member.

Due to the request falling partially on previously extended Common Area, Staff requires Board approval prior to issuing a Mutual Consent for the alteration.

Plans have been provided of the above-mentioned items (Attachment 1).

The cost of the proposed alteration would be borne by the Member.

### **DISCUSSION**

Ms. Wen is proposing to install an aluminum frame patio enclosure measuring 17'6" wide by 11' long, along with a new patio cover to match the enclosures roof measuring 12'6" wide by 12' long.

The existing block wall will be reduced to 30" and aluminum framing installed along with vinyl windows on three sides to enclose part of the patio. The rear elevation would contain three 60" wide by 54" tall windows. The left elevation would contain a 30" wide swing door and a 48"

wide by 54" tall window. The right elevation would contain a 42" wide by 54" tall window along with a 6' wide by 6'8" tall sliding glass door that would open onto the remaining covered patio area.

The new roof/cover would be tied into the building below the existing roof at 8' tall, with a total area coverage of 32' wide by 12' long.

Adequate guttering with downspouts/drainage will be required in conjunction with Mutual Standards.

Staff recommends denial of this request in conjunction with current Third Mutual's Common Area Use Policy (RESOLUTION 03-18-146) "BE IT RESOLVED FURTHER, that no further alteration may be approved or constructed on any previously approved or "grandfathered" alteration that encroaches upon common area, other than like for like, that augments, enlarges, or changes the construction, purpose, or use of the previously approved or grandfathered alteration."

Since the effective date of the current Common Area Usage policy on October 16, 2018, there have been no new Common Area alterations approved by the Board.

At the time of preparing this report, there are no open alterations listed on Mutual Consent for Unit 3391-B.

A Neighbor Awareness Notice was sent to Units 3390-A, 3390-B, 3390-C, 3391-A, 3392-A and 3392-B on May 8, 2019, due to line of sight and/or effects of construction noise/debris within 150' of the alteration.

At the time of this writing, one response has been received from 3390-B in agreement with the proposed alteration.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3391-B.

**Prepared By:** Gavin Fogg, Alterations Inspector II

**Reviewed By:** Brett Crane, Permits, Inspections & Restoration Manager  
Eve Morton, Alterations Coordinator

## **ATTACHMENT(S)**

Appendix A: Conditions of Approval  
Appendix B: Condo and Foundation Plan  
Attachment 1: Site Plans  
Attachment 2: Variance Request, March 22, 2019  
Attachment 3: Photos  
Attachment 4: Map

## APPENDIX A

### CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. The total length from the rear exterior wall of the unit to the rear exterior wall of the alteration room extension may not exceed 8 feet.
2. No improvement shall be installed, constructed, modified or altered at unit **3391-B**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
3. A Variance for Unit Alterations has been granted at **3391-B** for **Room Extension on Previously Extended Rear Patio**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
4. Prior to the issuance of a Mutual Consent for Unit Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
5. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at **3391-B** and all future Mutual members at **3391-B**.
6. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
7. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
8. All piping in bathrooms with adjacent units shall be insulated for sound reduction, including penetrations thorough framing.
9. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.

10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Covenant to Run with the Land" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Unit Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Unit Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
12. Prior to the Issuance of a Mutual Consent for Unit Alterations, **the Member Owner must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed.** The inspection will be a chargeable service to the Member Owner. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Unit Alterations staff to review.
13. Prior to the issuance of a Mutual Consent for Unit Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
14. Prior to the issuance of a Mutual Consent for Unit Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.
15. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
16. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or

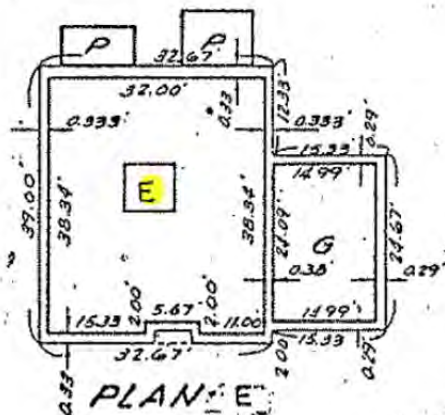
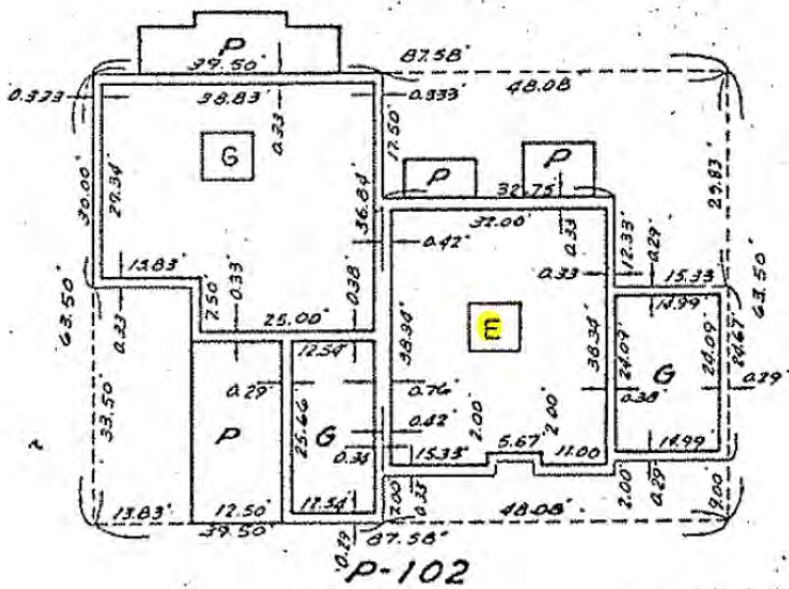
modifying an improvement to bring the same into compliance with the terms of the approval.

17. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
18. Member is responsible for following the gate clearance process in place to admit contractors and other invitees.
19. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
20. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
21. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
22. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
23. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
25. During construction, both the Mutual Consent for Unit Alterations and the City Building

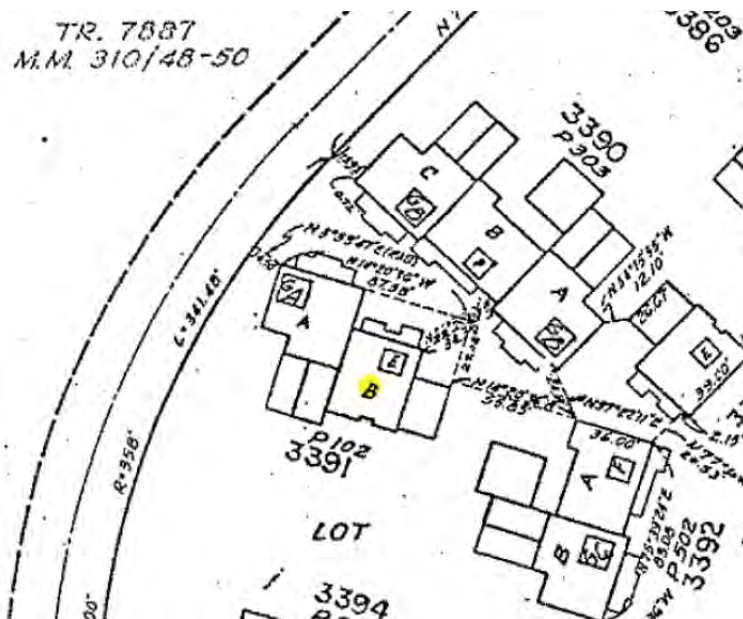
Permit must be on display for public view at all times in a location approved by the Division.

26. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
27. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
28. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
29. The Mutual Consent for Unit Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
30. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
31. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

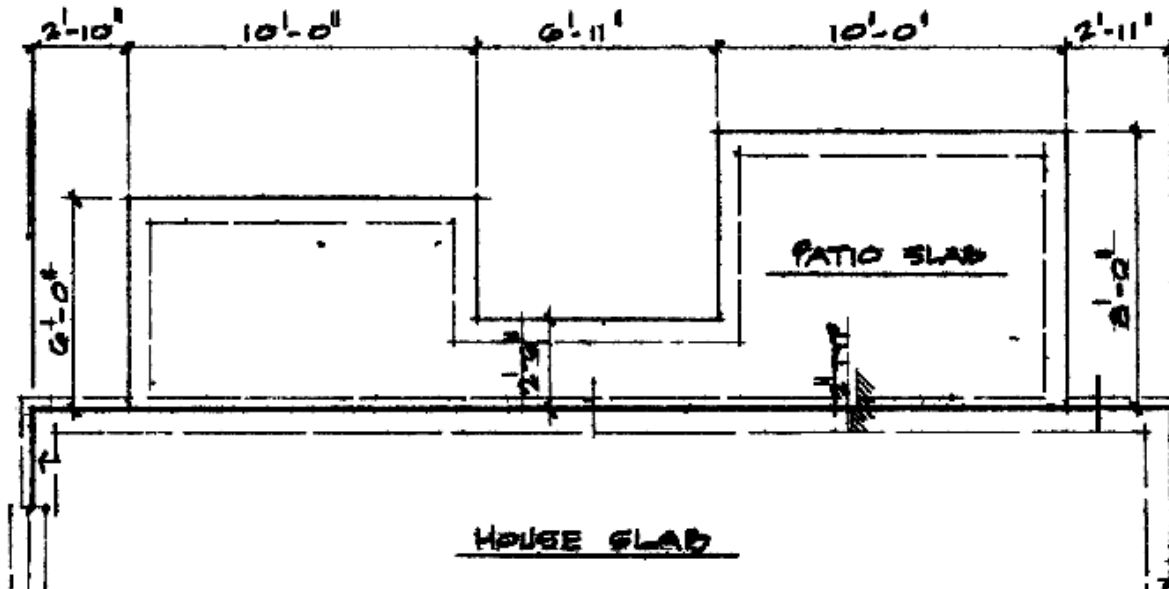
## Condominium Plan



## Tract Map



## Foundation Plan

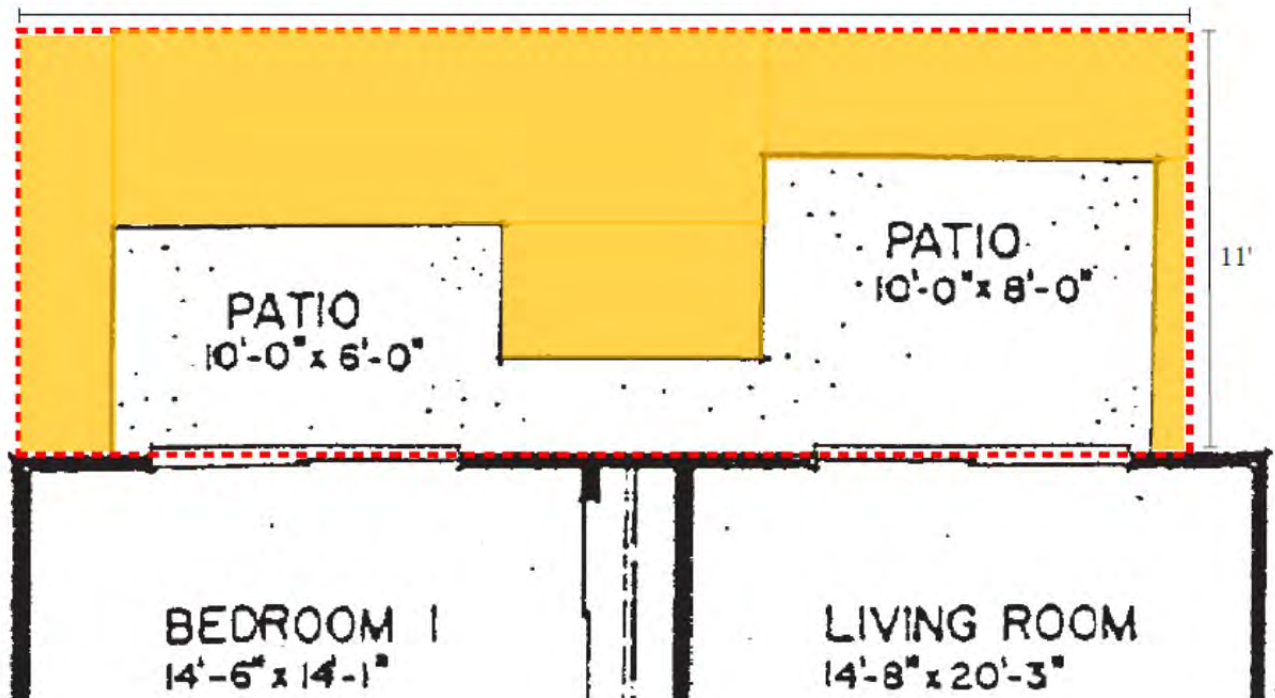


## Proposed Area usage

..... Proposed Enclosure Area

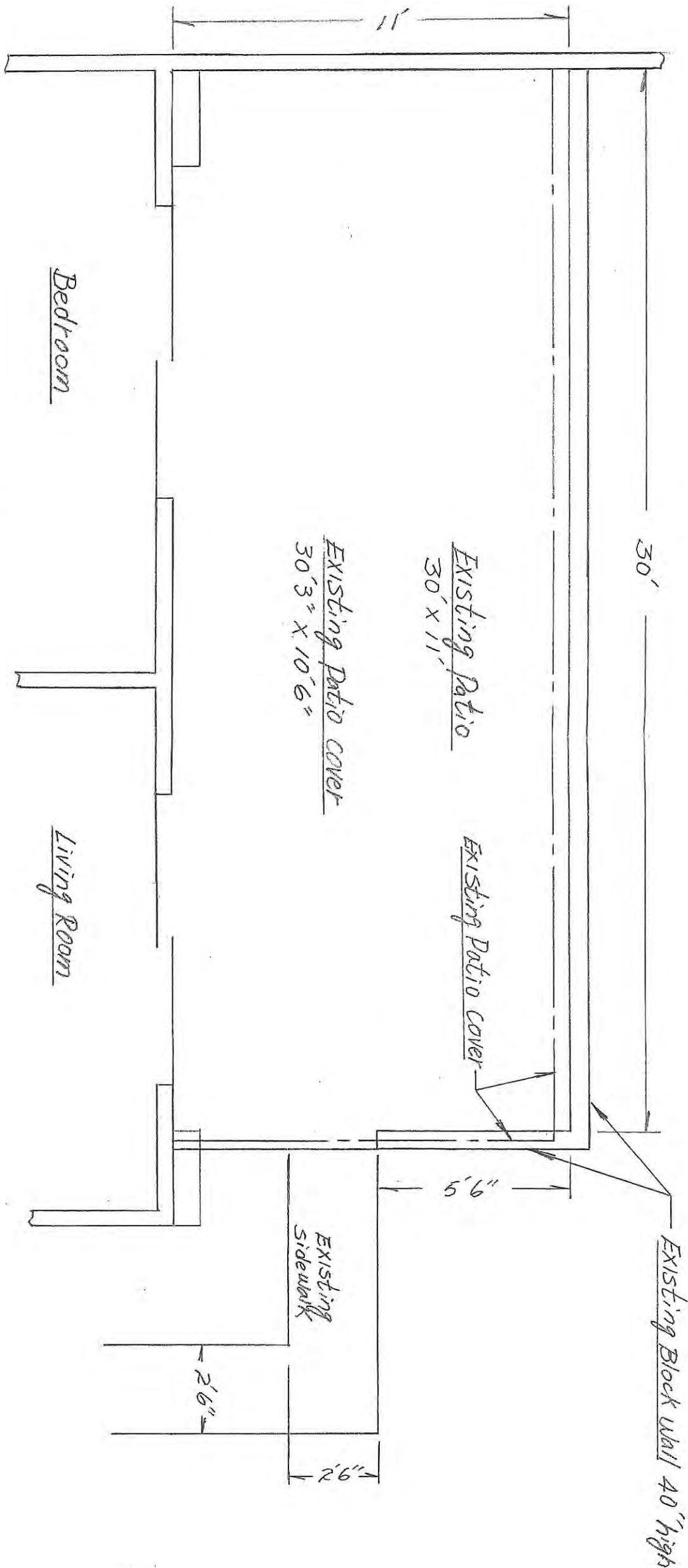
Previously Extended Common Area

30'

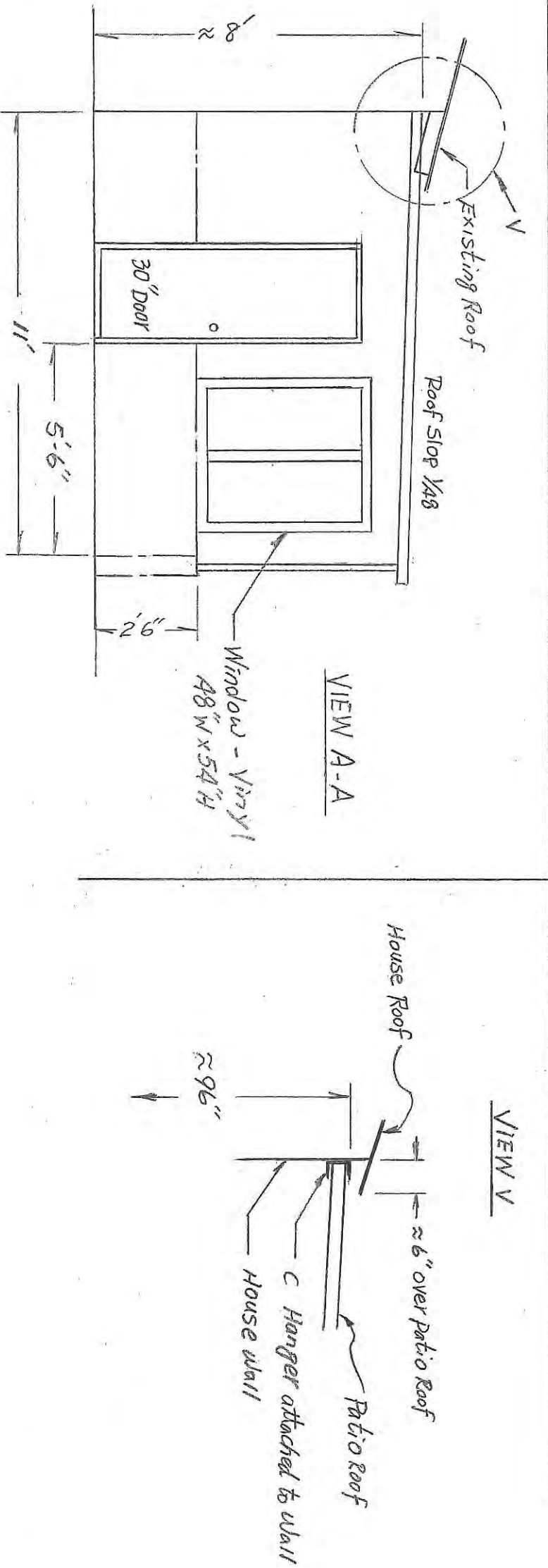
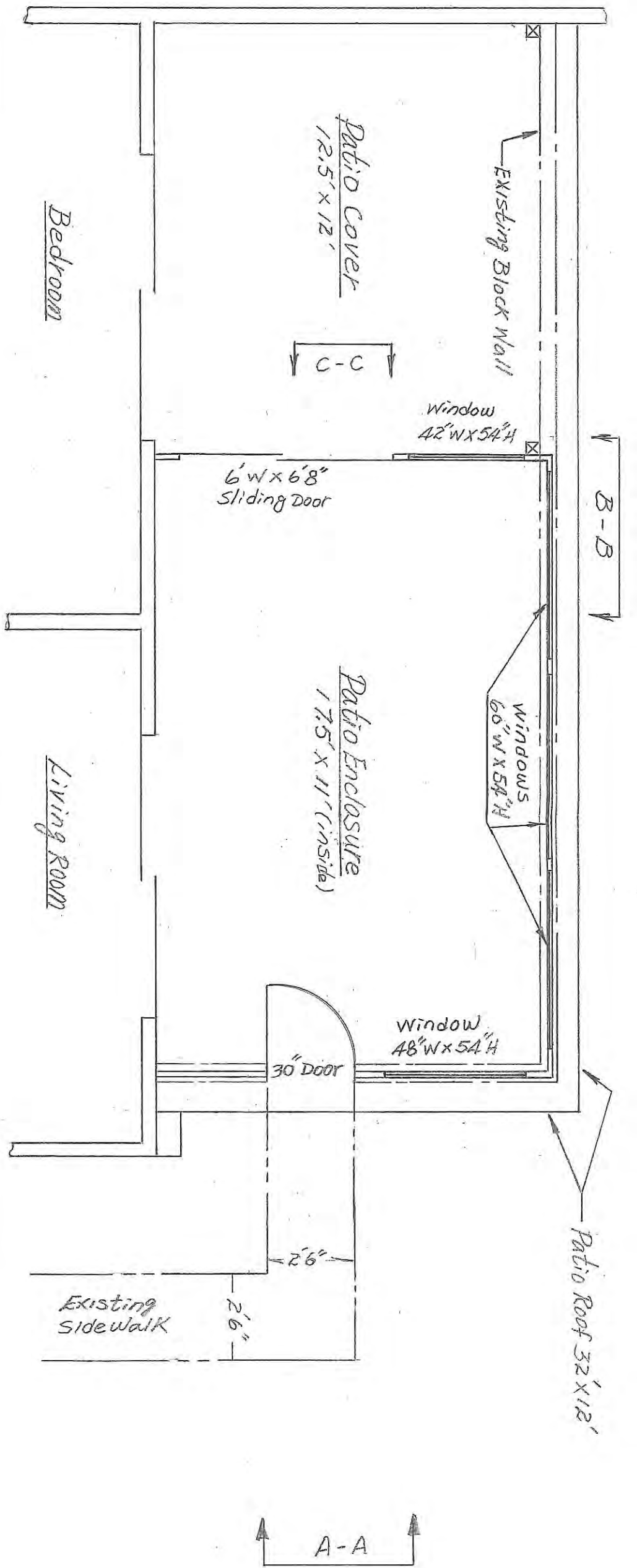




3391-B Existing Patio Cover



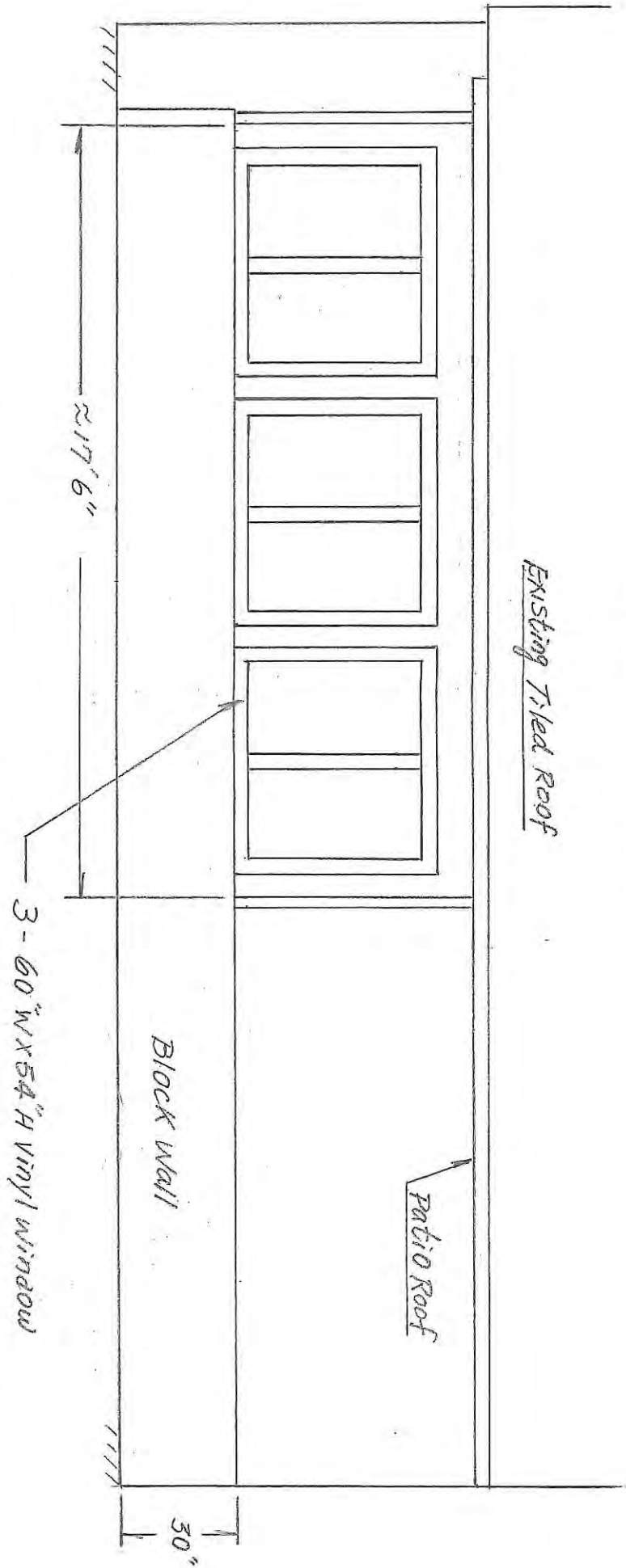
3391-B Proposed Patio Enclosure & Cover



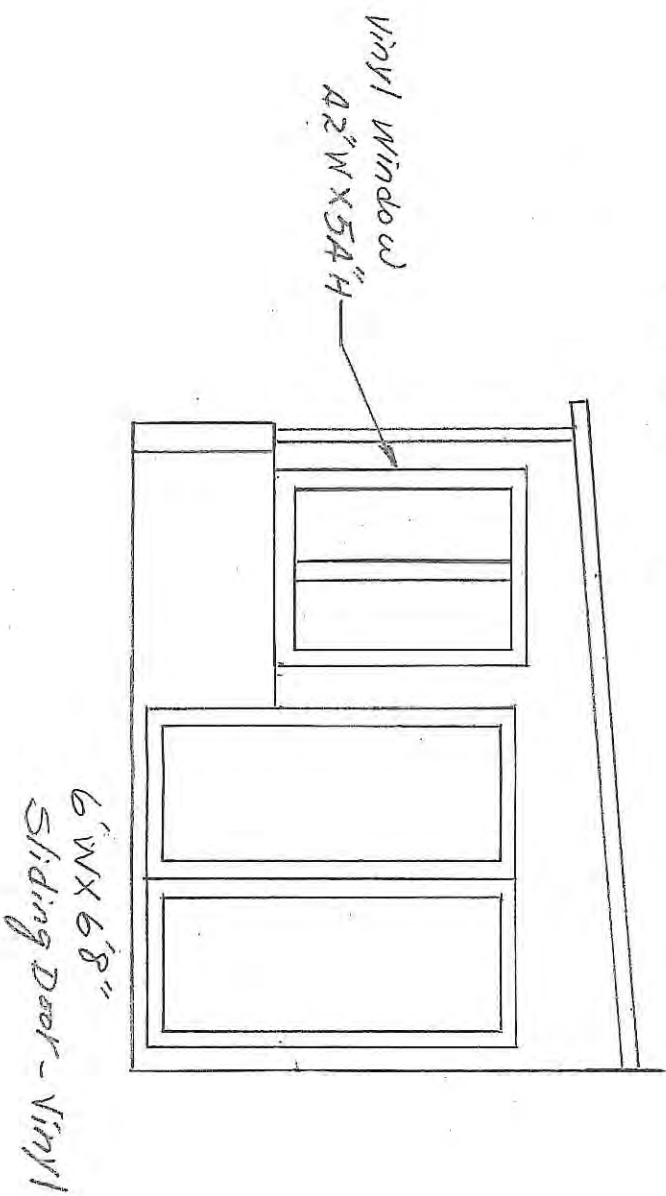
3391-B Proposed Patio Enclosure & cover

View B-B

- NOTE
1. Vinyl window & sliding door in white
  2. Aluminum framing



View C-C



Windows & Doors Schedule

Size	Opening Dimension
60"Wx54"H	24 1/4"W x 44"H
48"Wx54"H	18 1/4"W x 44"H
42"Wx54"H	15 1/4"W x 44"H
6'Wx6'8"H (D)	30 1/4"W x 70"H
30"Wx6'8"H (D)	30"W x 80"H



MANOR # 3391-B☐ ULWM☒ TLHM

## Variance Request Form

SA 21360120

Model: <u>Malaga</u>	Plan:	Date: <u>3/14/19</u>
Member Name: <u>Esther Wen</u>	Signature: <u>Esther Wen</u>	
Phone: [REDACTED]	E-mail: [REDACTED]	
Contractor Name/Co: <u>Jeff Lin</u> <u>J Lin Remodeling Services</u>	Phone: [REDACTED]	E-mail: [REDACTED]
Owner Mailing Address: (to be used for official correspondence) <u>3391-B Punta Alta, Laguna Woods</u>		

## Description of Proposed Variance Request ONLY:

- Install Patio Enclosure and Cover on Existing Patio Floor Plan
1. Remove existing patio cover & floor tile, trim existing block wall to 30" high
  2. Trim eaves at both ends, add block wall 2'-6" L x 30" h by 36" entry door
  3. Install patio enclosure 17.5' x 12' and patio cover 12.5' x 12' with 2 doors
  4. Extend sidewalk to 36" to meet the code.
  5. Install floor tiles, Gutter and downspouts

## Dimensions of Proposed Variance Alterations ONLY:

## FOR OFFICE USE ONLY

 RECEIVED BY: Ad DATE RECEIVED: 3/14/19 Check# 133 BY: Esther Wen

<b>Alteration Variance Request</b>	<b>Complete Submittal Cut Off Date:</b> <u>3/22/19</u>
<b>Check Items Received:</b> <input checked="" type="checkbox"/> Drawing of Existing Floor Plan <input checked="" type="checkbox"/> Drawing of Proposed Variance <input checked="" type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	<b>Meetings Scheduled:</b> Third AC&S Committee (TACSC): <u>4/22/19</u> United M&C Committee: _____ Board Meeting: <u>5/27/19</u> <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other: _____



Attachment: 3

Existing Block wall  
and Cover



Side Elevation





Rear Elevation



Existing Block wall  
and Cover





Attachment: 4





## STAFF REPORT

---

**DATE:** May 28, 2019  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Variance Request  
Mr. Richard Siao of 3461-C (Andaluz, P203A/P43)  
Room Extension on Previously Extended Common Area

---

### **RECOMMENDATION**

Staff recommends the Board deny the request to construct a room extension on a previously extended Common Area patio. Should the Board approve the request, Staff recommends it be with the conditions in Appendix A.

### **BACKGROUND**

Mr. Siao of 3461-C Bahia Blanca West, an Andaluz style unit, is requesting Board approval of a variance to construct a room extension onto the previously extended rear patio of his unit.

The original rear patio slab was an 'L' shape spanning a width of 32'6" and between 5' and 8' long. In 1990, the slab was extended via Mutual Consent by 3' in length for the remaining width of the slab (66 sq.ft.) in order to make it one solid rectangle shape (Appendix B). A slump stone wall was then built and windscreens with a patio cover installed to enclose the patio that same year via Mutual Consent. In 2017, a Mutual Consent was issued for demolition of the enclosure.

Using the Tract Map, Condominium, and Foundation Plans for Unit 3461-C, Staff determined the area of the proposed room extension falls under on a combination of designated Common Area that was previously extended upon, as well as original Common Area for the Exclusive Use for the Owner/Member.

Due to there being no Mutual or Architectural Standards on file for wood construction room extensions and the request falling partially on previously extended Common Area, Staff requires Board approval.

Plans have been provided of the above-mentioned items (Attachment 1).

The cost of the proposed alteration would be borne by the Member.

### **DISCUSSION**

Mr. Siao is proposing to build a wood frame with stucco exterior room extension on the rear patio of his unit, using the same dimensions as the previously installed patio enclosure (32'-6" wide by 8' long).

The rear elevation will contain an 8' wide by 5'6" tall double hung window with two 3' wide side windows of matching height directly behind the living room area, along with a 5' wide by 5'6"



tall slider window located behind the Master Bedroom. The left (East) elevation will be a solid exterior wall with stucco finish to match the existing building. The right (West) elevation will contain a 4' wide by 6' tall window.

The new flat roof installation would be tied into the existing roof at approximately 9'; guttering and downspouts will be required to meet Mutual Standards.

As part of the project, a 19" wide by 48" tall window will be installed on the rear wall of the Master Bedroom to accommodate emergency egress requirements.

Staff recommends denial of this request in conjunction with current Third Mutual's Common Area Use Policy (RESOLUTION 03-18-146) "BE IT RESOLVED FURTHER, that no further alteration may be approved or constructed on any previously approved or "grandfathered" alteration that encroaches upon common area, other than like for like, that augments, enlarges, or changes the construction, purpose, or use of the previously approved or grandfathered alteration."

Since the effective date of the current Common Area Usage policy on October 16, 2018, there have been no new Common Area alterations approved by the Board.

At the time of preparing this report, there are no open alterations listed on Mutual Consent for Unit 3461-C.

A Neighbor Awareness Notice was sent to Units 3460-A, 3461-A, 3461-B, 3462, 3463-A, 3463-B, 3464 and 3465-B on May 8, 2019, due to line of sight and/or effects of construction noise/debris within 150' of the alteration.

At the time of this writing, there has been no response to the Neighbor Awareness Notices.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3461-C.

**Prepared By:** Gavin Fogg, Alterations Inspector II

**Reviewed By:** Brett Crane, Permits, Inspections & Restoration Manager  
Eve Morton, Alterations Coordinator

#### **ATTACHMENT(S)**

Appendix A: Conditions of Approval  
Appendix B: Condo and Foundation Plan  
Attachment 1: Site Plans  
Attachment 2: Variance Request, April 5, 2019  
Attachment 3: Photos  
Attachment 4: Map

## APPENDIX A

### CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. The total length from the rear exterior wall of the unit to the rear exterior wall of the alteration room extension may not exceed 8 feet.
2. No improvement shall be installed, constructed, modified or altered at unit **3461-C**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
3. A Variance for Unit Alterations has been granted at **3461-C** for **Room Extension on Previously Extended Rear Patio**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
4. Prior to the issuance of a Mutual Consent for Unit Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
5. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at **3461-C** and all future Mutual members at **3461-C**.
6. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible, contractors' or other invitees' vehicles should be limited in number.
7. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
8. All piping in bathrooms with adjacent units shall be insulated for sound reduction, including penetrations thorough framing.
9. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at

the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Covenant to Run with the Land" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Unit Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Unit Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
12. Prior to the Issuance of a Mutual Consent for Unit Alterations, **the Member Owner must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed.** The inspection will be a chargeable service to the Member Owner. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Unit Alterations staff to review.
13. Prior to the issuance of a Mutual Consent for Unit Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
14. Prior to the issuance of a Mutual Consent for Unit Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.
15. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
16. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the

approval.

17. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
18. Member is responsible for following the gate clearance process in place to admit contractors and other invitees.
19. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
20. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
21. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
22. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
23. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
25. During construction, both the Mutual Consent for Unit Alterations and the City Building Permit must be on display for public view at all times in a location approved by the

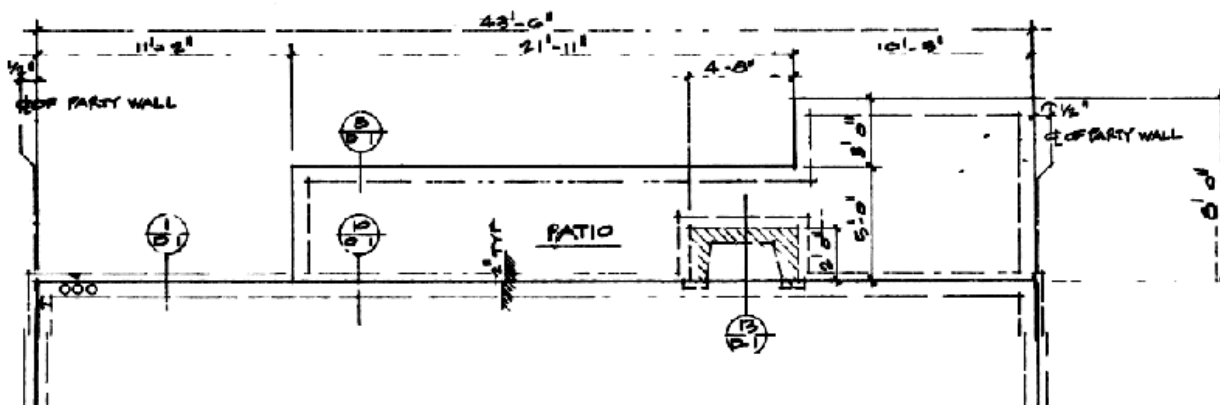
Division.

26. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
27. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
28. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
29. The Mutual Consent for Unit Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
30. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
31. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

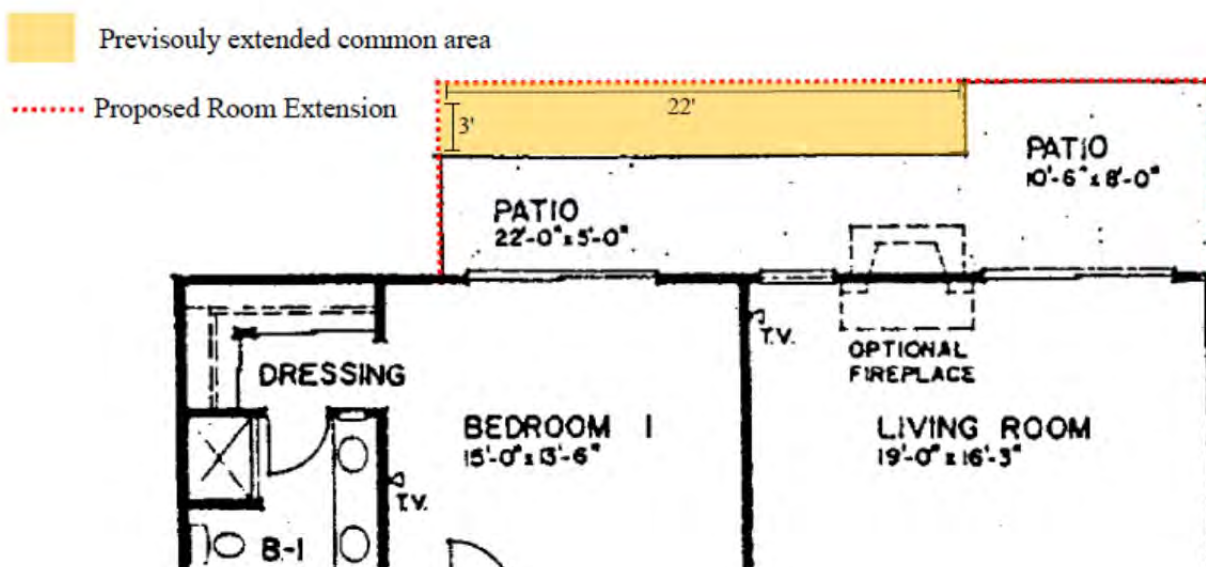
The diagram shows a hand-drawn floor plan of a building with two main rooms, F and G, and a central corridor. The overall dimensions and room-specific measurements are as follows:

- Room F (Upper Room):**
  - Top wall: 43.50' P
  - Right wall: 36.00'
  - Bottom wall (right section): 11.83'
  - Left wall: 37.00'
  - Internal width: 31.00'
  - Internal height: 31.38'
  - Top-left corner offset: 0.333'
  - Top-right corner offset: 0.333'
- Room G (Lower Room):**
  - Left wall: 26.00'
  - Right wall: 26.00'
  - Bottom wall: 29.00'
  - Internal width: 23.42'
  - Internal height: 25.42'
  - Top-left corner offset: 0.29'
  - Top-right corner offset: 0.29'
- Corridor and Overall Dimensions:**
  - Central corridor width: 10.67'
  - Overall left width: 68.67'
  - Overall right width: 68.67'
  - Overall bottom width: 49.50'
  - Overall bottom height: 32.67'
  - Overall top height: 42.83'

## Foundation Plan



### Proposed Area usage





## INDEX:

- T-1: TITLE SHEET AND SITE PLAN
- A-1: EXISTING/PROPOSED FLOOR PLAN
- A-2: PROPOSED ELEVATIONS
- A-3: EXISTING ELEVATIONS
- A-4: ROOF/REFLECTED CEILING PLAN
- G-1: GENERAL NOTES
- S-1: STRUCTURAL NOTES
- S-2: STRUCTURAL NOTES AND DETAILS
- S-3: STRUCTURAL LAYOUT
- S-4: STRUCTURAL DETAILS
- S-5: STRUCTURAL DETAILS

## CODE ANALYSIS

OCCUPANCY TYPE:

R2

CONSTRUCTION TYPE:

 $\sqrt{B}$ 

CALIFORNIA BUILDING CODE (VOL. 2): 2016

CALIFORNIA RESIDENTIAL CODE:

20

CALIFORNIA PLUMBING CODE:

20

CALIFORNIA MECHANICAL CODE:

20

CALIFORNIA ELECTRICAL CODE

20

CALIFORNIA ENERGY CODE:

20

CALIFORNIA GREEN BUILDING CODE:

20

WORKING HOURS

WORKING HOURS ARE FROM 7:30 AM – 5:00

PM M-F

8:00 AM - 4:00 PM SATURDAY

NO WORKING HOURS ON SUNDAY OR LEGAL

PROJECT DESCRIPTION:

ENCLOSE (E)215 sf PATIO WITH WOOD

FRAMING. ADD DOORS, ADD EGRESS WINDOW

TO BEDROOM

**LEGAL DESCRIPTION:**

THIS IS A PARCEL OF LAND IN THE CITY OF LAGUNA WOODS, IN THE COUNTY OF ORANGE, IN THE STATE OF CALIFORNIA.

APN # 952 791 06

## CONSTRUCTION

THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON THIS CONSTRUCTIONS SITE OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.

FINISH GRADE SURROUNDING  
PATIO SHALL BE GRADED TO  
DIRECT SURFACE RUNOFF AWAY  
FROM HOME FOR A MIN. OF 10',  
SLOPED AT 5% TOWARDS A  
WATER DISPOSAL AREA



PROJECT:  
CONVERT EXISTING 219 SF  
PRE-FAB PATIO TO WOOD  
CONSTRUCTION.  
REPLACE (E) WINDOWS TO PATIO

OWNER:  
RICHARD SIWO AND MINGMING WANG  
3461 BAHIA BLANCA UNIT C  
LAGUNA WOODS, CA 92637  
(818)404-6511

**DESIGNER:**  
WORLDWIDE DESIGN CONCEPTS  
P.O. BOX 553  
LA MIRADA, CA 90637  
(562)756-7846

**ENGINEER:**  
**MANNING ENGINEERING, INC.**  
**27574 COMMERCE CENTER DRIVE,**  
**SUITE 133**  
**TEMECULA, CA 92590**  
**(951)296-1044**

[illegible]

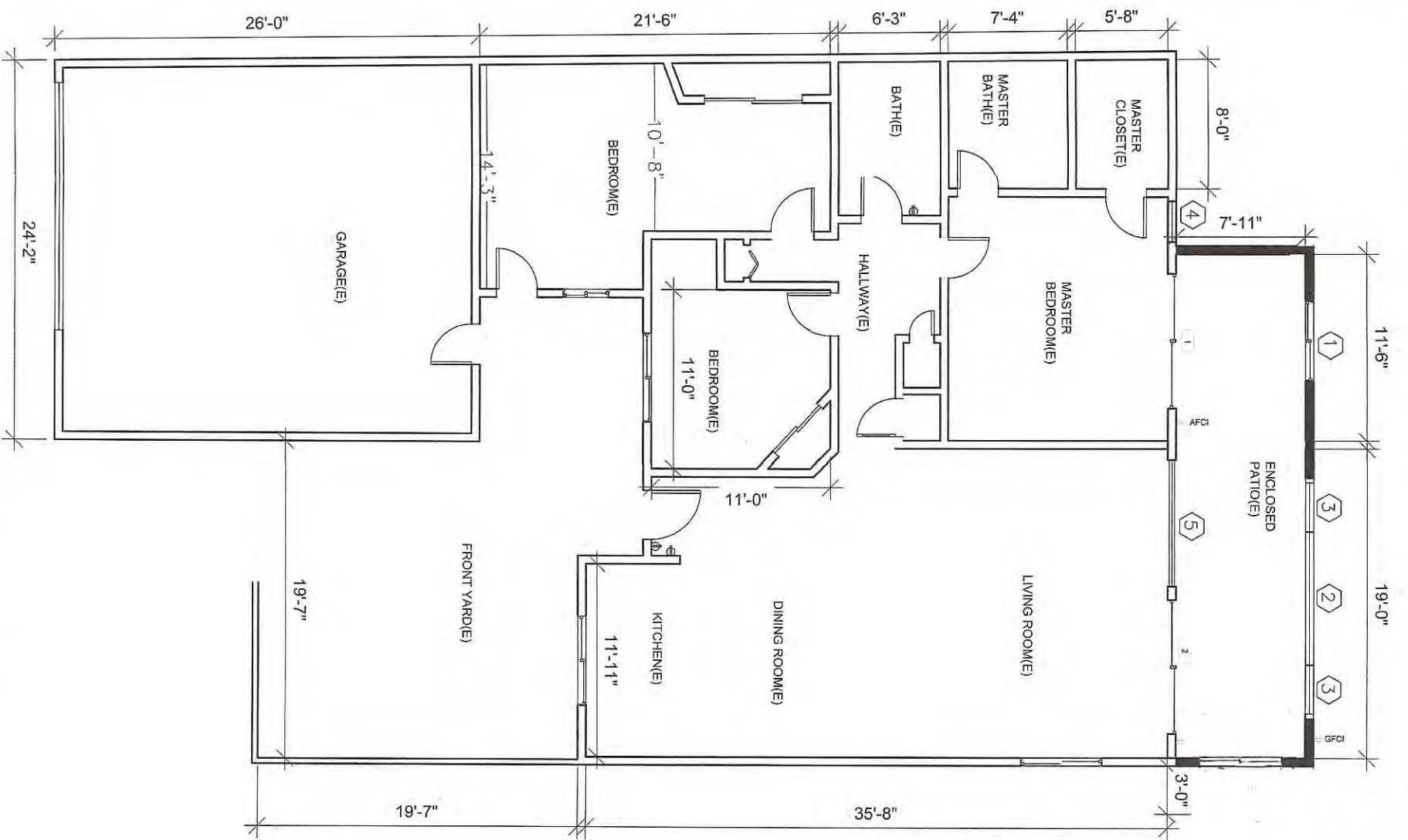
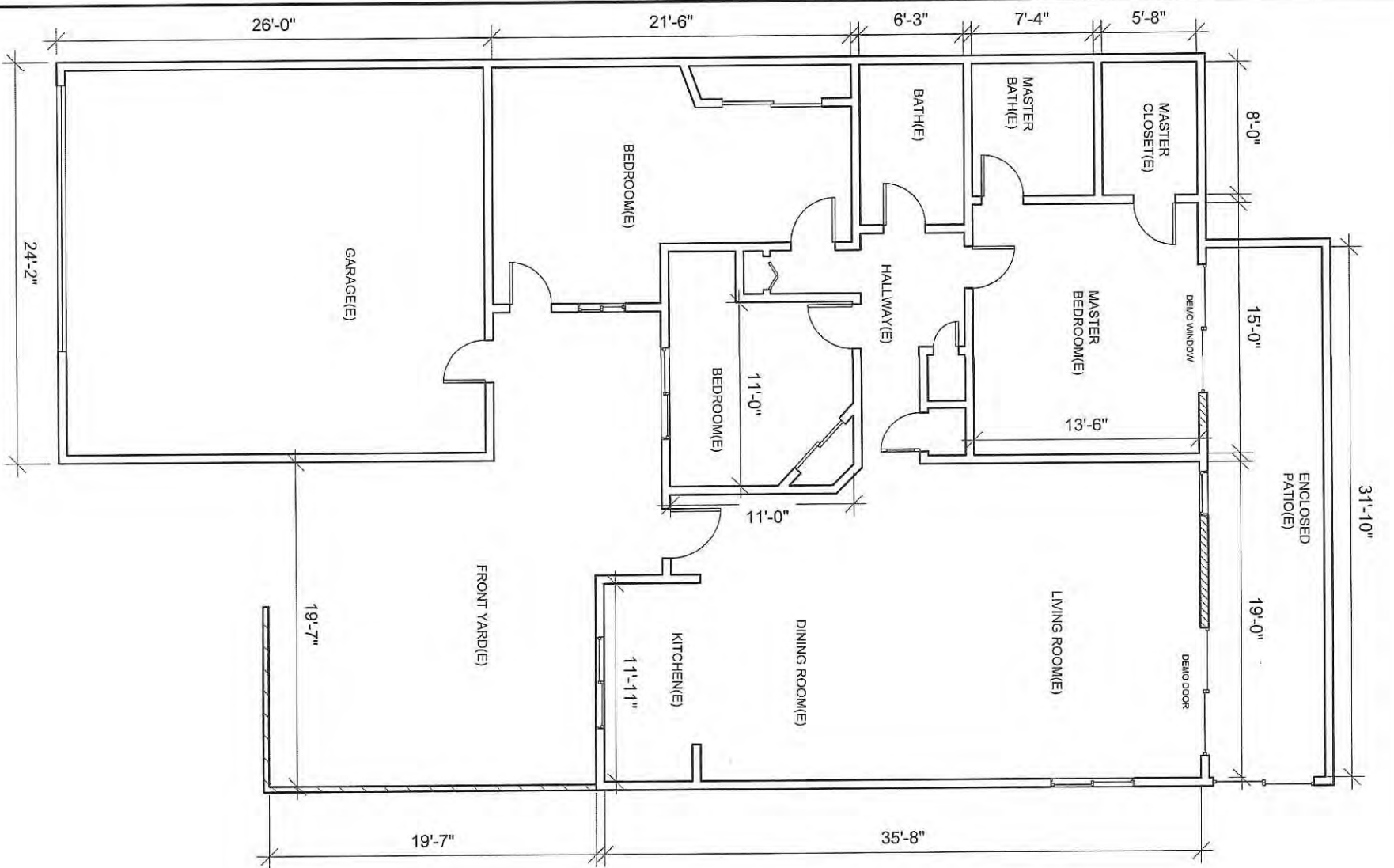
WORLDWIDE  
DESIGN CONCEPTS

P.O. BOX 553, LA MIRADA, CALIFORNIA 90637 (562)756-7846

RESIDENCE

3461 BAHIA BLANCA, UNIT C  
LAGUNA WOODS, CALIFORNIA 92637





DOOR SCHEDULE:					
	MARK	WIDTH	PULL SIDE	HINGE TYPE	REMARKS
01	15'-4"	-		T-GLASS	EXTERIOR PANEL SLIDING
02	8'-3"	-		T-GLASS	EXTERIOR PANEL SLIDING
03	3'-0"	RIGHT		T-GLASS	EXTERIOR

WINDOW SCHEDULE				
MARK	SIZE		SILL HEIGHT	REMARKS
	WIDTH	HEIGHT		
01	5'-0"	5'-6"	1'-3"	SLIDER
02	8'-0"	5'-6"	1'-6"	DOUBLE HINGE
03	3'-0"	6'-6"	1'-6"	SLIDER
04	2'-6"	4'-0"	2'-6"	CASSEMENT LEFT HINGE
05	7'-6"	9'-6"	1'-6"	SOLID PANE

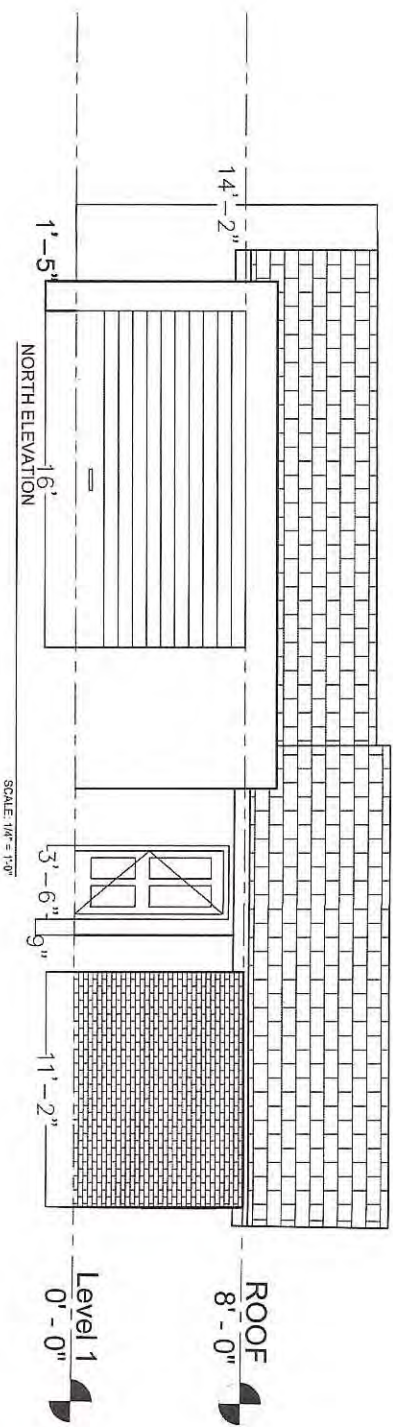
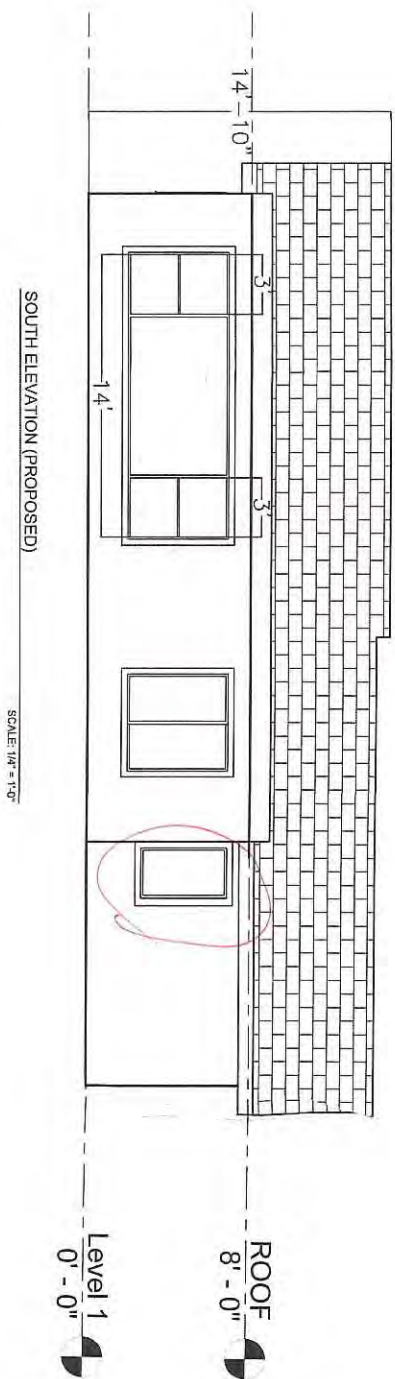
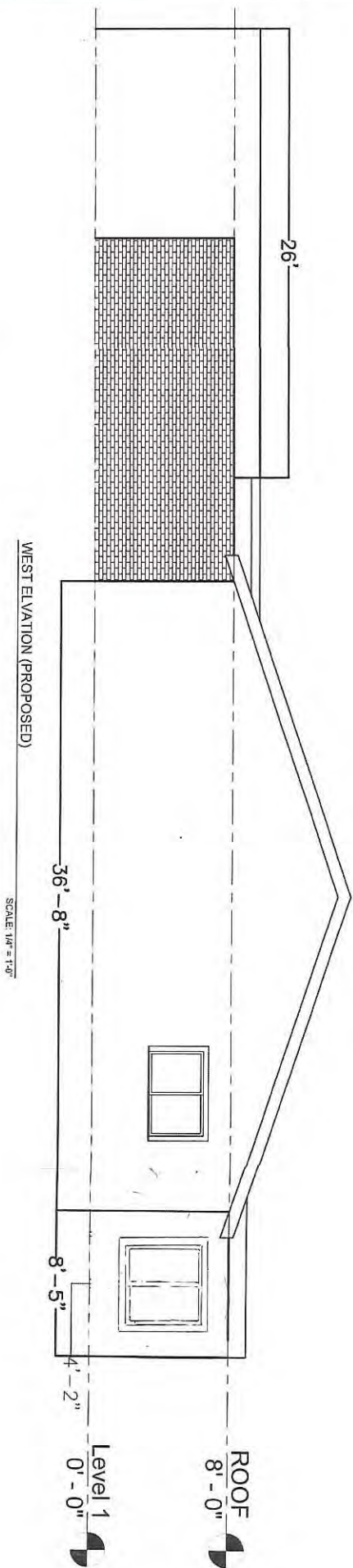
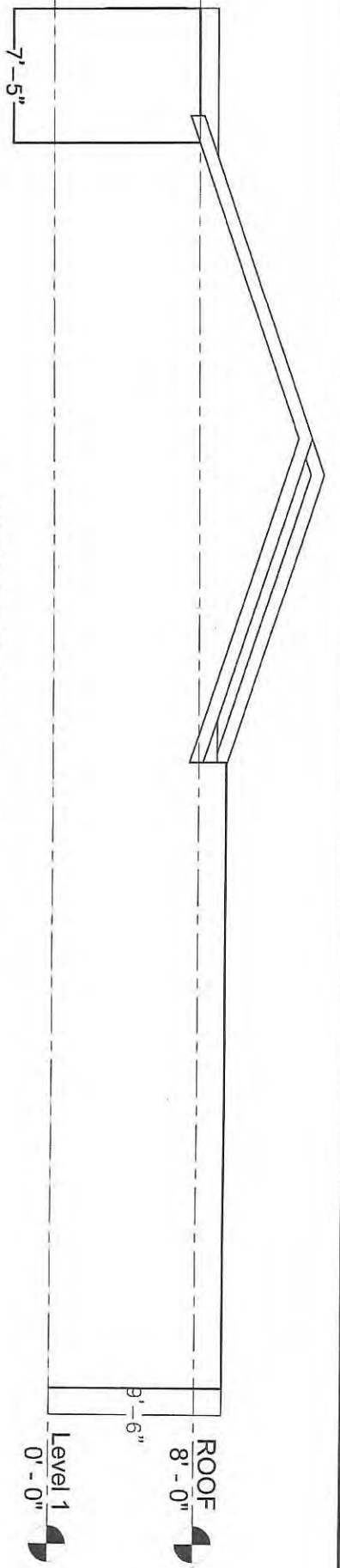
NO	DATE	REVISIONS	BY

WORLDWIDE  
DESIGN CONCEPTS

RESIDENCE

3461 BAHIA BLANCA, UNIT C  
LAGUNA WOODS, CALIFORNIA 92637





# RESIDENCE

3461 BAHIA BLANCA, UNIT C  
LAGUNA WOODS, CALIFORNIA 92637

WORLDWIDE  
DESIGN CONCEPTS

REVISIONS

BY

DATE

NO

DATE

SCALE

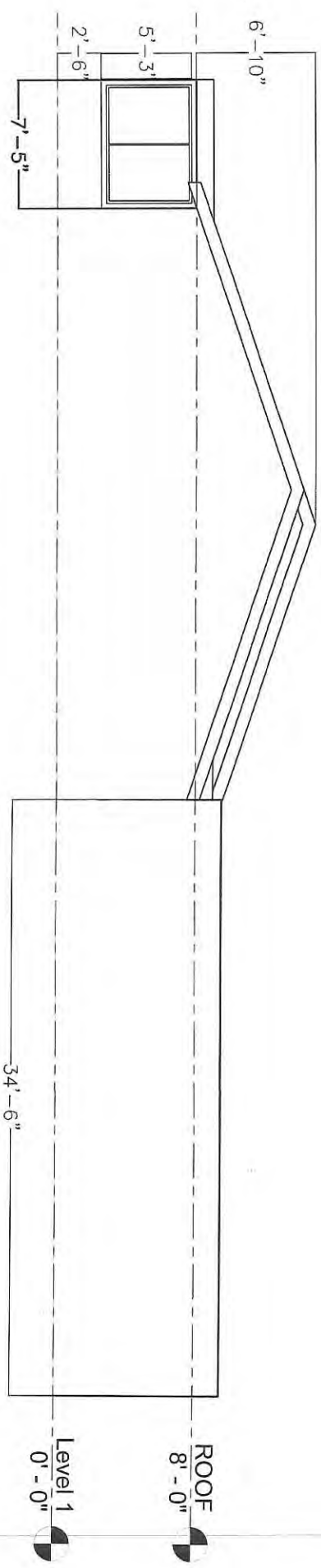
NOTED

DRAWN BY

B. PELAYO

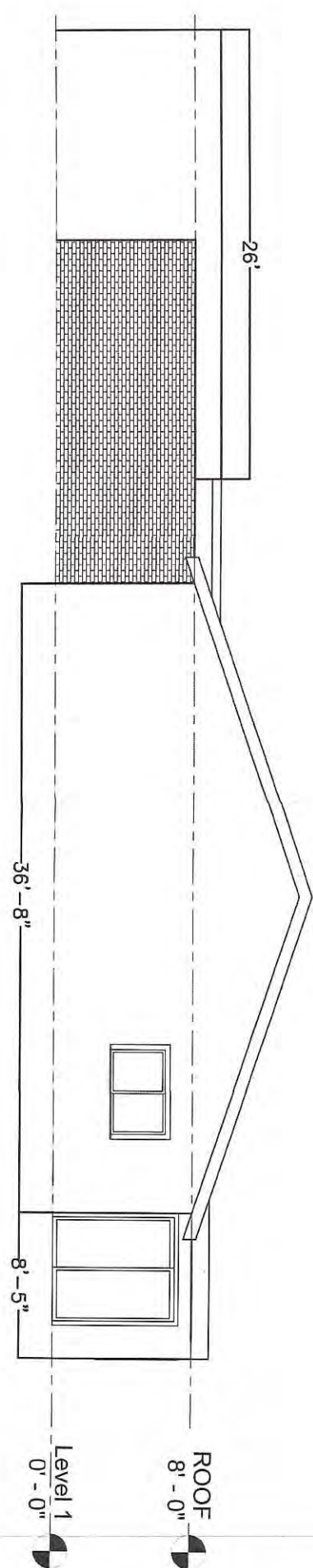
SHEET

A-2  
OF SHEETS



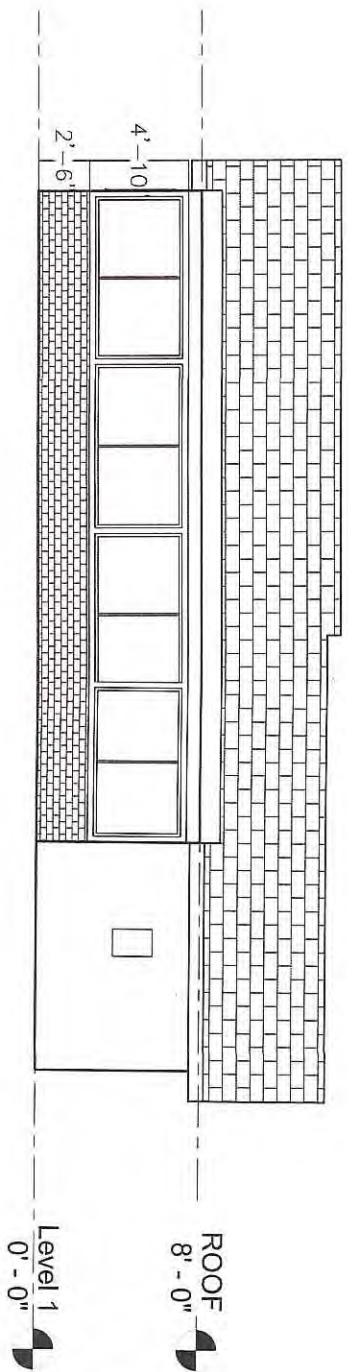
EAST ELEVATION (EXISTING)

SCALE: 1/4" = 1'-0"



WEST ELEVATION (EXISTING)

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION (EXISTING)

SCALE: 1/4" = 1'-0"

# RESIDENCE

3461 BAHIA BLANCA, UNIT C  
LAGUNA WOODS, CALIFORNIA 92637

WORLDWIDE  
DESIGN CONCEPTS

NO	DATE	REVISIONS	BY

DATE	8/27/2018
SCALE	NOTED
DRAWN BY	B. PELAYO
SHEET	A-3
OF SHEETS	3



ROOF PLAN

SCALE: 1/4" = 1'-0"

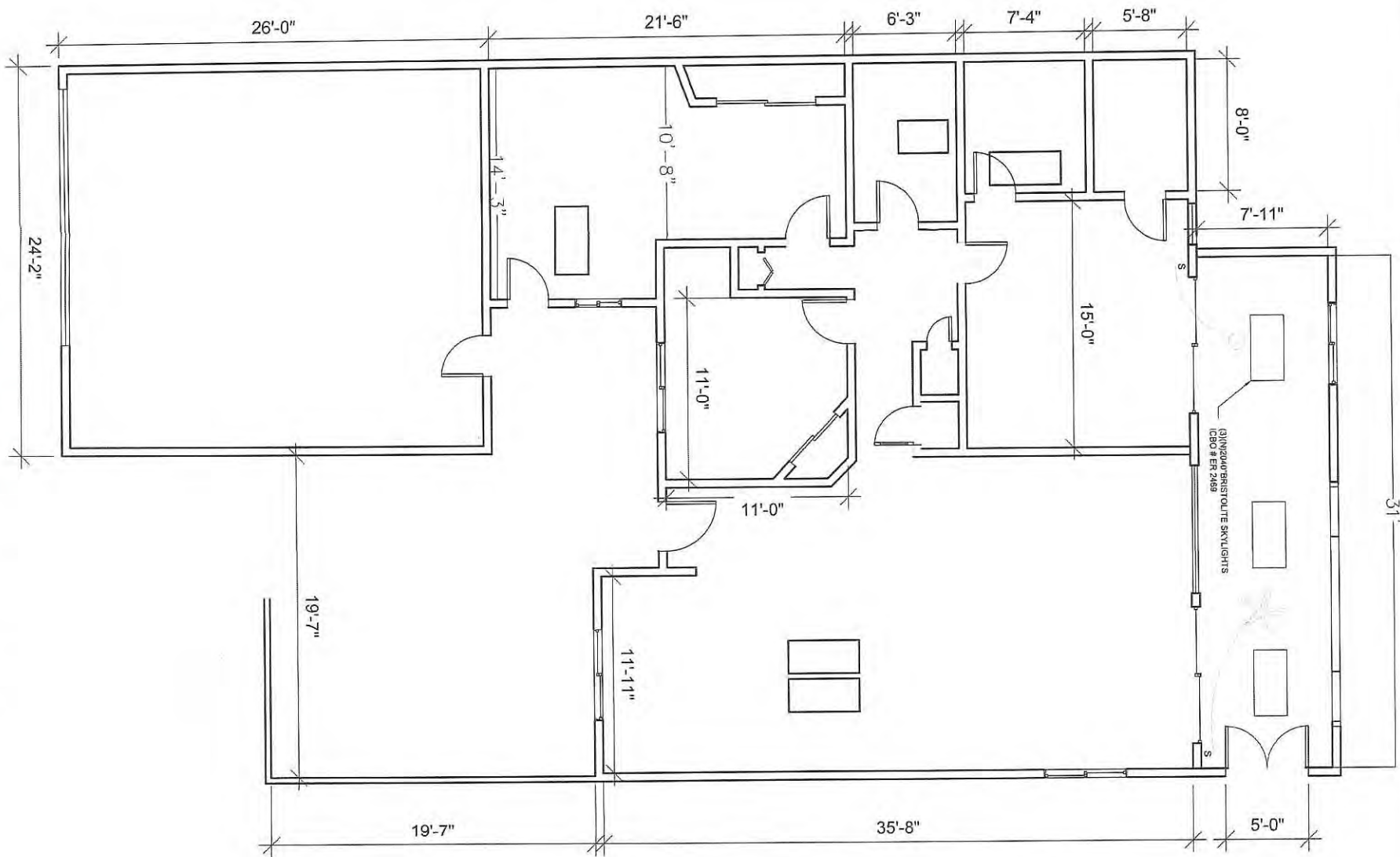
36'-3 1/2"

4:12 RIDGE (E)

4:12 RIDGE (E)

REFLECTED CEILING PLAN (PROPOSED)

SCALE: 1/4" = 1'-0"



A-4 OF SHEETS	SHEET	DRAWN BY B. PELAYO	SCALE NOTED	DATE 8/27/2018	NO	DATE	REVISIONS	BY	WORLDWIDE DESIGN CONCEPTS	RESIDENCE 3461 BAHIA BLANCA, UNIT C LAGUNA WOODS, CALIFORNIA 92637









## 2016 C.B.C. SHEARWALL AND CONNECTIONS SHEATHING ONE SIDE

PLATE	W	MATERIAL	MATERIAL	TOP PLATE CONNECTION SEE SUB	SEE SUB FOR DETAILS TO CONNECTION
(A) (allowable)	(FER 2016 C.B.C. STUDIES)	(FER E86-1933 ALTERNATE USING NAILS)	N/A	LTP4 - 24" O.C.	16d - 6" O.C.
155 PLF	1/2" EXPANDED STEEL OR WOVEN WIRE LATH AND PORTLAND CEMENT PLASTER UNLOCKED WITH 1/8" GA GALV. STUDIES 1/8" LE65 & 6" O.C.	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 24" O.C.	16d - 6" O.C.	
235 PLF	3/8" STR. SHEATHING, BLOCKED 1/8" GA 1/4" 6" O.C. EDGES 1/2" O.C. FIELD 2X FRAMING & 6" O.C.	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 24" O.C.	16d - 6" O.C.	
315 PLF	3/8" STR. SHEATHING, BLOCKED 1/8" GA 1/4" 4" O.C. EDGES 1/2" O.C. FIELD 2X FRAMING & 6" O.C.	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 24" O.C.	16d - 4" O.C.	
355 PLF	3/8" STR. SHEATHING, BLOCKED 1/8" GA 1/4" 3" O.C. EDGES 1/2" O.C. FIELD 2X FRAMING & 6" O.C.	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 16" O.C.	16d - 3" O.C.	
355 PLF	3/8" STR. SHEATHING, BLOCKED 1/8" GA 1/4" LE65 STUDIES & 2" O.C. EDGES 1/2" O.C. FIELD 2X FRAMING & 6" O.C. ADJOINING PANEL EDGES 3X. HUBBELL 3X FT.	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 16" O.C.	SP535600 & 3" O.C. 3X BLOCK OR RIM JOIST	
400 PLF	3/8" STR. SHEATHING, BLOCKED 1/8" GA 1/4" 2" O.C. EDGES 1/2" O.C. FIELD 2X FRAMING & 6" O.C. ADJOINING PANEL EDGES 3X. HUBBELL 3X FT.	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 16" O.C.	SP535600 & 3" O.C. 3X BLOCK OR RIM JOIST	
435 PLF	3/8" STR. SHEATHING, BLOCKED 1/8" GA 1/4" 2" O.C. EDGES 1/2" O.C. FIELD 2X FRAMING & 6" O.C. ADJOINING PANEL EDGES 3X. HUBBELL 3X FT.	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 16" O.C.	SP535600 & 3" O.C. 3X BLOCK OR RIM JOIST	
550 PLF	N/A	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 16" O.C.	SP535600 & 3" O.C. 3X BLOCK OR RIM JOIST	
725 PLF	N/A	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 16" O.C.	SP535600 & 3" O.C. 3X BLOCK OR RIM JOIST	
570 PLF	N/A	1/2" O.C. EN. STUD 2X FRAMING 16" O.C. BLOCKED	LTP4 - 16" O.C.	SP535600 & 3" O.C. 3X BLOCK OR RIM JOIST	

SHEATHING TWO SIDES (DOUBLE SHEAR) **				EACH SIDE	
Panel (allowable)	V (PER 2016 C.B.C. STUDIES)	MATERIAL	PER ESR-1539 ALTERNATE USING NAIL S	TOP PLATE CONNECTION SEE 60 EACH SIDE	BILL PLATE CONNECTION SEE 50A
△ 410 PLF	3/8" STR. SHEATHING BOTH SIDES BLOCKED 16 GA. 1/2" LEAD STAPLES @ 4" O.C. EDGES 12" O.C. FIELD OFFSET PANEL JOINTS FOR 2X OR USE 3X STUDS WHEN EN IS ON BOTH SIDES TO COTTON MEMBER	N/A	3/8" WOOD STRUCTURAL PANEL 16d42" O.C. EN 12" O.C. FN INTERMEDIATE STUDS 2X @ EDGE NAILING TO ABUTTING PANELS 3X STUDS REQUIRED	L7F4 - 24" O.C.	SP505500 @ 6" O.C.
△ 630 PLF	3/8" STR. SHEATHING BOTH SIDES BLOCKED 16 GA. 1/2" LEAD STAPLES @ 3" O.C. EDGES 12" O.C. FIELD OFFSET PANEL JOINTS FOR 2X OR USE 3X STUDS WHEN EN IS ON BOTH SIDES TO COTTON MEMBER	N/A	3/8" WOOD STRUCTURAL PANEL 16d42" O.C. EN 12" O.C. FN INTERMEDIATE STUDS 2X @ EDGE NAILING TO ABUTTING PANELS 3X STUDS REQUIRED	L7F4 - 16" O.C.	SP505500 @ 6" O.C.
△ 800 PLF	3/8" STR. SHEATHING BOTH SIDES BLOCKED 2" O.C. EDGES 12" O.C. FIELD OFFSET PANEL JOINTS FOR 2X OR USE 3X STUDS WHEN EN IS ON BOTH SIDES TO COTTON MEMBER	N/A	3/8" WOOD STRUCTURAL PANEL 16d42" O.C. EN 12" O.C. FN INTERMEDIATE STUDS 2X @ EDGE NAILING TO ABUTTING PANELS 3X STUDS REQUIRED	L7F4 - 16" O.C.	SP505500 @ 4" O.C.
△ 950 PLF	3/8" STR. SHEATHING BOTH SIDES BLOCKED 2" O.C. EDGES 12" O.C. FIELD OFFSET PANEL JOINTS FOR 2X OR USE 3X STUDS WHEN EN IS ON BOTH SIDES TO COTTON MEMBER	N/A	3/8" WOOD STRUCTURAL PANEL 16d42" O.C. EN 12" O.C. FN INTERMEDIATE STUDS 2X @ EDGE NAILING TO ABUTTING PANELS 3X STUDS REQUIRED	L7F4 - 12" O.C.	SP505500 @ 4" O.C.
△ 1100 PLF	3/8" STR. SHEATHING BOTH SIDES BLOCKED 2" O.C. EDGES 12" O.C. FIELD OFFSET PANEL JOINTS FOR 2X OR USE 3X STUDS WHEN EN IS ON BOTH SIDES TO COTTON MEMBER	N/A	3/8" WOOD STRUCTURAL PANEL 16d42" O.C. EN 12" O.C. FN INTERMEDIATE STUDS 2X @ EDGE NAILING TO ABUTTING PANELS 3X STUDS REQUIRED	L7F4 - 12" O.C.	SP505500 @ 3" O.C.
△ 1450 PLF	3/8" STR. SHEATHING BOTH SIDES BLOCKED 2" O.C. EDGES 12" O.C. FIELD OFFSET PANEL JOINTS FOR 2X OR USE 3X STUDS WHEN EN IS ON BOTH SIDES TO COTTON MEMBER	N/A	3/8" WOOD STRUCTURAL PANEL 16d42" O.C. EN 12" O.C. FN INTERMEDIATE STUDS 2X @ EDGE NAILING TO ABUTTING PANELS 3X STUDS REQUIRED	L7F4 - 8" O.C.	2 ROWS @ 4" O.C.
△ 1740 PLF	3/8" STR. SHEATHING BOTH SIDES BLOCKED 2" O.C. EDGES 12" O.C. FIELD OFFSET PANEL JOINTS FOR 2X OR USE 3X STUDS WHEN EN IS ON BOTH SIDES TO COTTON MEMBER	N/A	3/8" WOOD STRUCTURAL PANEL 16d42" O.C. EN 12" O.C. FN INTERMEDIATE STUDS 2X @ EDGE NAILING TO ABUTTING PANELS 3X STUDS REQUIRED	L7F4 - 8" O.C.	2 ROWS @ 4" O.C.

IN LIEU OF 3x TWO 2x MAY BE USED WITH 1cd & 4"  
O.C. TOGETHER  $\Delta$  THRU  $\Delta$  AND  $\Delta$   
SDS25300 & 4" O.C.  $\Delta$  THRU  $\Delta$

**2016 INTERIOR SHEARWALLS**  
**EDGE DISTANCE  $\geq$  6" SILL BOLTING SEE (SWS) B**

(A)	145 P.L.F.	% $\Phi$	2x P.T.	48" O.C.
(B)	210 P.L.F.	% $\Phi$	2x P.T.	32" O.C.
(C)	293 P.L.F.	% $\Phi$	2x P.T.	24" O.C.
(D)	350 P.L.F.	% $\Phi$	2x P.T.	16" O.C.
(E)	420 P.L.F.	% $\Phi$	2x P.T.	24" O.C.
(F)	718 P.L.F.	% $\Phi$	3x P.T.	16" O.C.
(G)	1110 P.L.F.	% $\Phi$	3x P.T.	12" O.C.
(H)	1640 P.L.F.	% $\Phi$	4x P.T.	12" O.C.

NOTE:

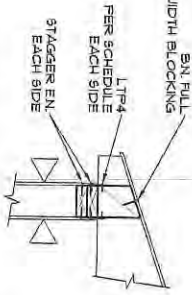
- FABRICATED IN CONTACT WITH PRESERVATIVE-TREATED OR FOR FIRE - RETARDANT TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER
- SEALING SHALL BE STRI, MAALS TO BE COTTON

SEE SUB(A) SILL BOLTING

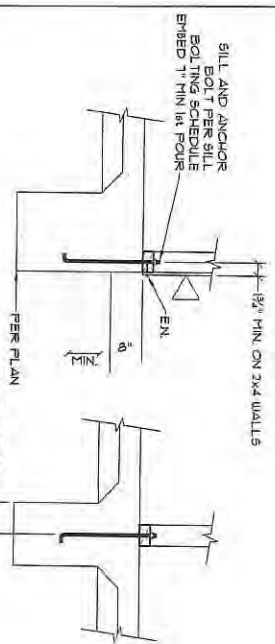
SEE SWS SILL BOLTING

MARK	V (PIF)	BILL AND BOLTING
	(kilobolts)	SEE SLIPS
①	2x4 = 125 2x6 = 200 2x8 = 200	2x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 48" O.C.
②	2x4 = 115 2x6 = 300 2x8 = 300	2x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 32" O.C.
③	2x4 = 250 2x6 = 350 2x8 = 350	2x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 48" O.C.
④	3x4 = 350 3x6 = 500 3x8 = 650	3x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 24" O.C.
⑤	3x4 = 150 3x6 = 150 3x8 = 1000	3x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 16" O.C.
⑥	3x4 = 500 3x6 = 500 3x8 = 1500	3x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 16" O.C.
⑦	3x4 = 550 3x6 = 1500 3x8 = 1500	3x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 16" O.C.
⑧	3x4 = 144 3x6 = 1800 3x8 = 2000	3x PRESSURE TREATED 5/8" x 12" ANCHOR BOLTS @ 9" O.C.

- NOTE BOLT SCHEDULE  $\textcircled{2}$  IN  $\textcircled{3}$  REQUIRES 3" BOLT CONTRACTOR TO VERIFY BOLT SIZE AND SPACING PER BOLT SCHEDULE
- BOLTS TO BE EMBEDDED A MINIMUM OF 1" INTO FIRST POOR ON TWO POOR SYSTEMS.
- BOLTS AT CONCRETE CRACKS TO BE EMBEDDED 1" MINIMUM IN POOR EXCLUDING CRACKS.
- BOLTS  $\textcircled{1}$  AND  $\textcircled{2}$  TO HAVE 3"x3"x29" PLATE WASHER
- MINIMUM BOLTING ON ALL WALLS - 48" O.C.  
3"x3"x29" PLATE WASHER

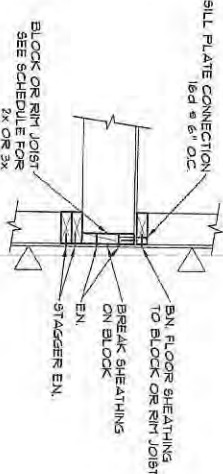


TYPICAL UNO.  
BLOCK LTP4 EACH SIDE  
PER SHEAR SCHEDULE



TYPICAL UNO. (A)

(B)

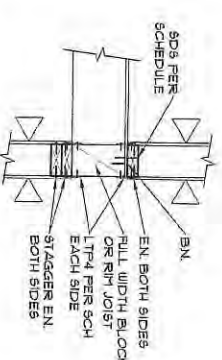


TYPICAL UNO.

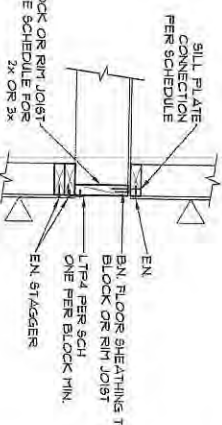
(545)

٥	٦
---	---

(SW2) ALTERNATE RAISED FLOOR SINCE SHEAR



TYPICAL UNC



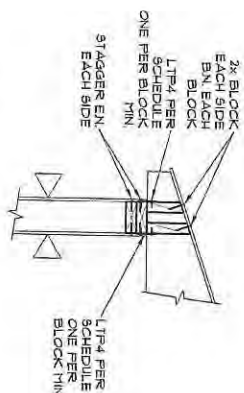
TYPICAL UN.C

(54) RAISED FLOOR DOUBLE SHEAR

50

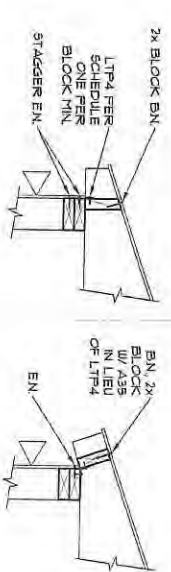
(SW2) RAISED IN ONE SINCE I HEARD

1



TYPICAL UNO.

BLOCK LTP4 EACH SIDE  
PER SHEAR SCHEDULE



TYPICAL INC

THE UNIVERSITY OF CHICAGO



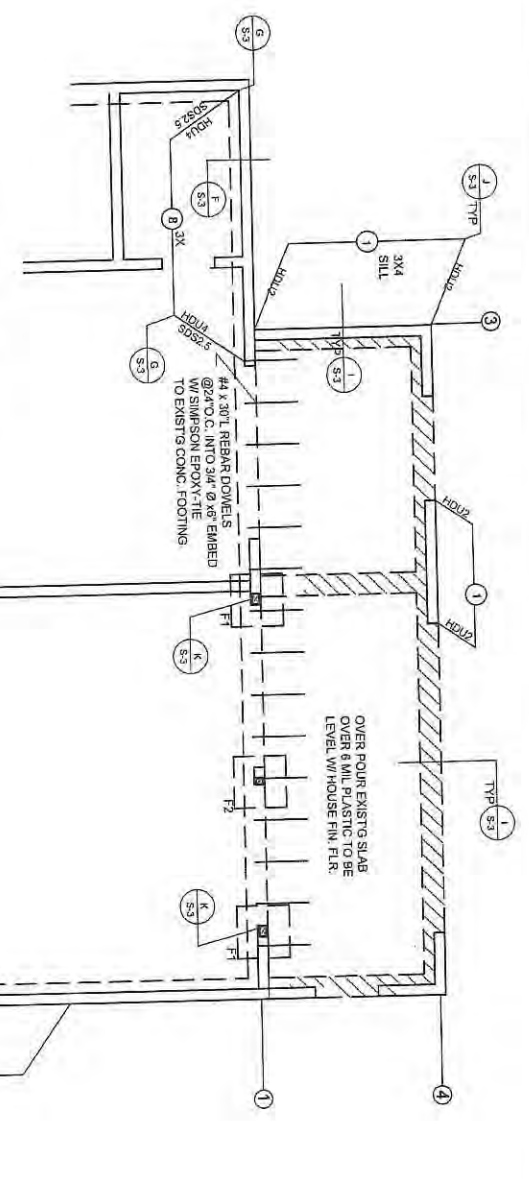
**MANNING ENGINEERING INC.**  
Civil / Structural Consultants

PATIO TO ENCLOSED ROOM CONVERSION  
3261 BAHIA BLANCA UNIT C  
LAGUNA WOODS CA 92637

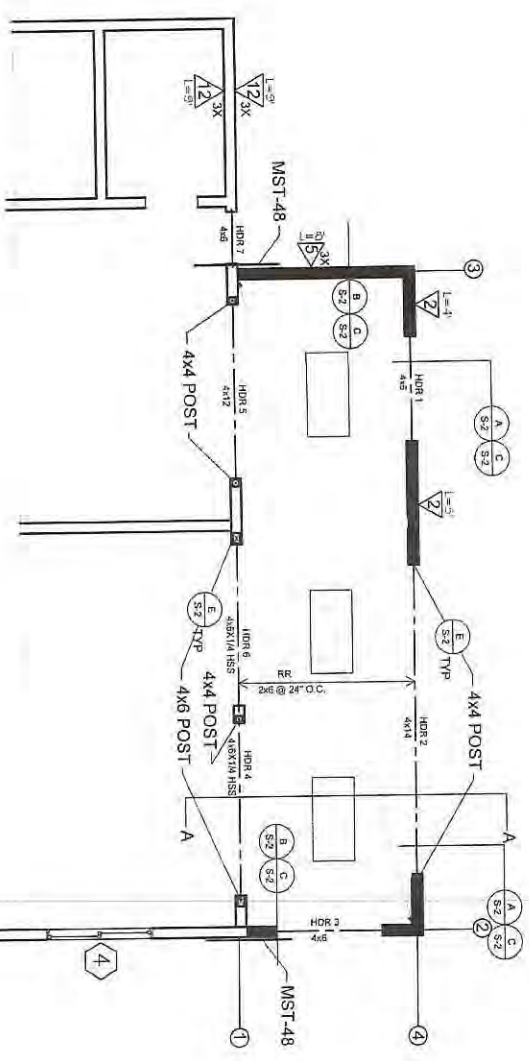
---

NAILING SCHEDULE & DETAILS

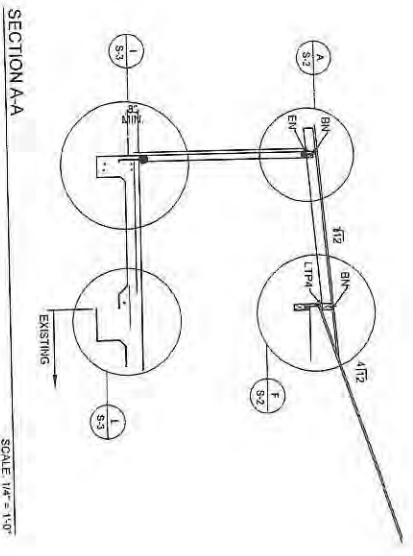




FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



FRAMING PLAN  
SCALE: 1/4" = 1'-0"



SECTION A-A  
SCALE: 1/4" = 1'-0"



NO	DATE	REVISIONS	BY

WORLDWIDE  
DESIGN CONCEPTS

RESIDENCE

3461 BAHIA BLANCA, UNIT C  
LAGUNA WOODS, CALIFORNIA 92637

SHEET  
3  
OF SHEETS

DRAWN BY  
B. PELAYO

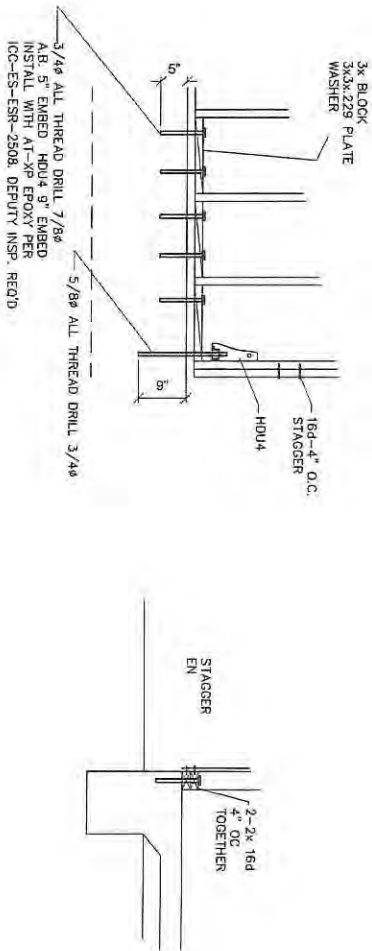
SCALE NOTED

DATE 1/10/2019

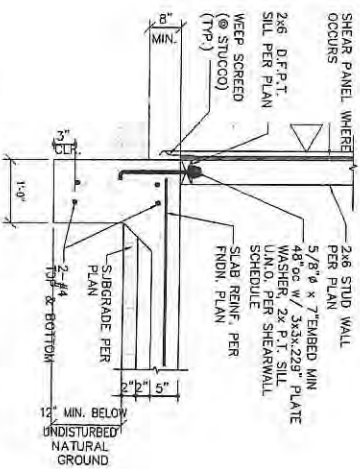




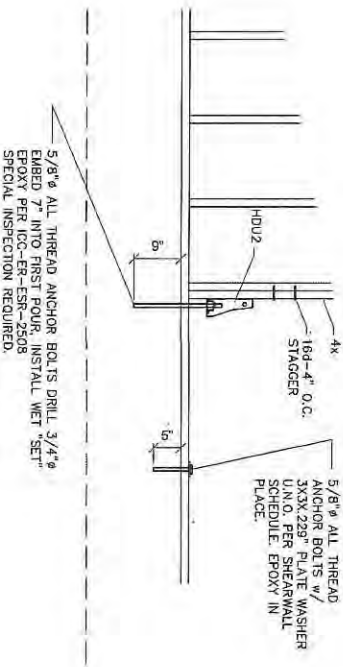




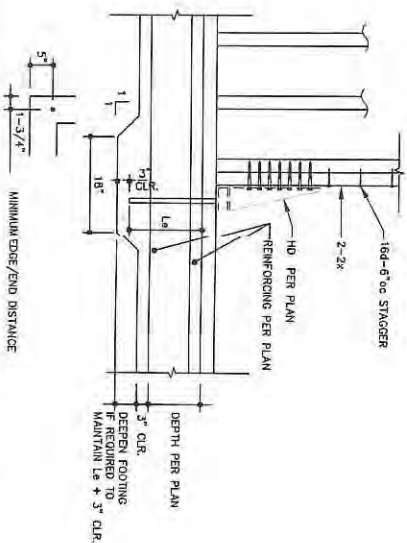
ANCHOR DETAIL  
SCALE: 3/4"=1'



EXTERIOR FOOTING DETAIL  
SCALE: 3/4"=1'



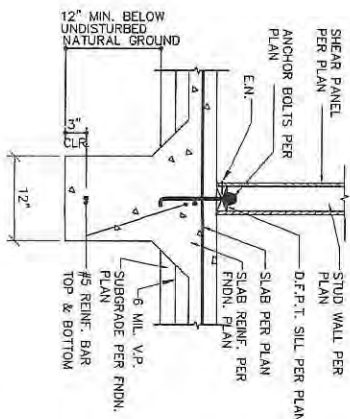
ANCHOR DETAIL  
SCALE: 3/4"=1'



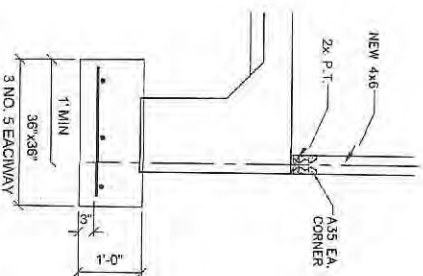
HOLD DOWN	ONE POUR	TWO POUR *	ALLOW. LOAD
HD02	SSTB16 12 5/8	STB20 12 5/8	3075
HD04	SSTB20 16 5/8	STB24 16 5/8	4565
HD05	SSTB24 20 5/8	** 20 5/8	5175
HD06	SSTB28 24 7/8	STB36 24 7/8	5960
HD08-S053	SSTB28 24 7/8	STB36 24 7/8	7630

\* Le MUST BE INTO FIRST POUR  
\*\* USE HD08 WITH SSTB28 & SSTB36  
MIN. Le= 20 5/8

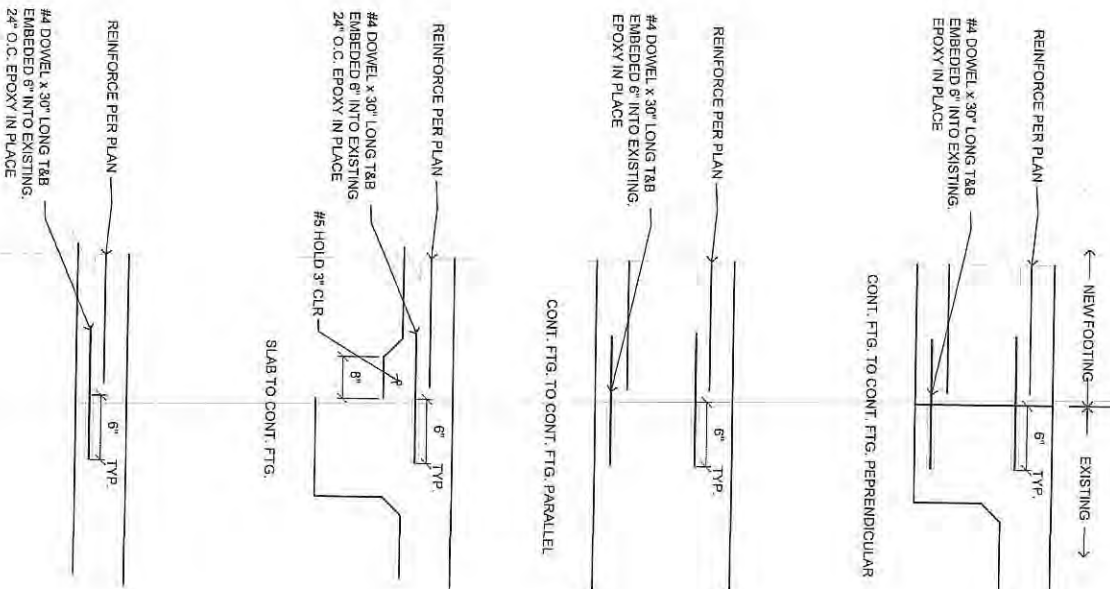
HOLD DOWN DETAIL  
SCALE: 3/4"=1'



INTERIOR FOOTING DETAIL  
SCALE: 3/4"=1'



UNDER PIN AT COLUMN DETAIL  
SCALE: 3/4"=1'



FOUNDATION CONNECTION DETAIL NEW TO EXISTING  
SCALE: 3/4"=1'



NO	DATE	REVISIONS	BY

WORLDWIDE  
DESIGN CONCEPTS

RESIDENCE

3461 BAHIA BLANCA, UNIT C  
LAGUNA WOODS, CALIFORNIA 92637





Laguna Woods Village

ATTACHMENT 2

MANOR #

3461-C

☐ ULWM

☒ TLHM

## Variance Request Form

SA

Model: EL PRADO Plan: P203A Date: 04/05/2019

Member Name: RICHARD SIAO Signature: [Signature]

Phone: [Redacted] E-mail: [Redacted]

Contractor Name/Co: LUCKY CONSTRUCTION Phone: [Redacted] E-mail: [Redacted]

Mailing Address: 3461-C BAHIA BLANCA  
(to be used for official correspondence) LAGUNA WOODS

### Description of Proposed Variance Request ONLY:

PATIO ENCLOSURE WITH WOOD FRAMES & FINISH  
STUCCO, ROOF TILE.

### Dimensions of Proposed Variance Alterations ONLY:

32' x 8.5' = 272 SF

### FOR OFFICE USE ONLY

RECEIVED BY: \_\_\_\_\_ DATE RECEIVED: \_\_\_\_\_ Check# \_\_\_\_\_ BY: \_\_\_\_\_

#### Alteration Variance Request

##### Check Items Received:

- ☐ Drawing of Existing Floor Plan
- ☐ Drawing of Proposed Variance
- ☐ Dimensions of Proposed Variance
- ☐ Before and After Pictures
- ☐ Other: \_\_\_\_\_

#### Complete Submittal Cut Off Date:

##### Meetings Scheduled:

Third AC&S Committee (TACSC): \_\_\_\_\_

United M&C Committee: \_\_\_\_\_

Board Meeting: \_\_\_\_\_

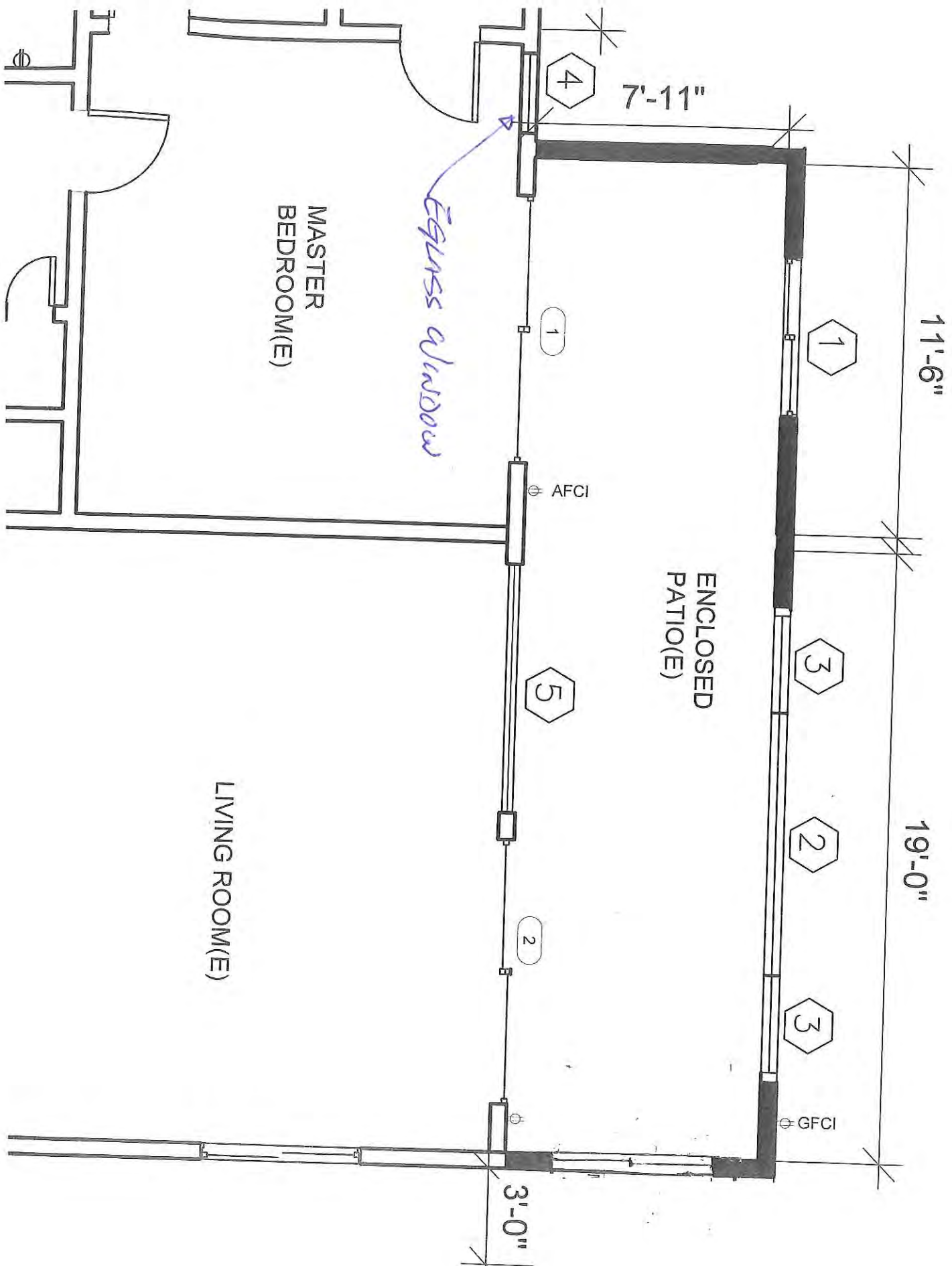
☐ Denied

☐ Approved

☐ Tabled

☐ Other: \_\_\_\_\_

3461-C  
BARRA BLUES

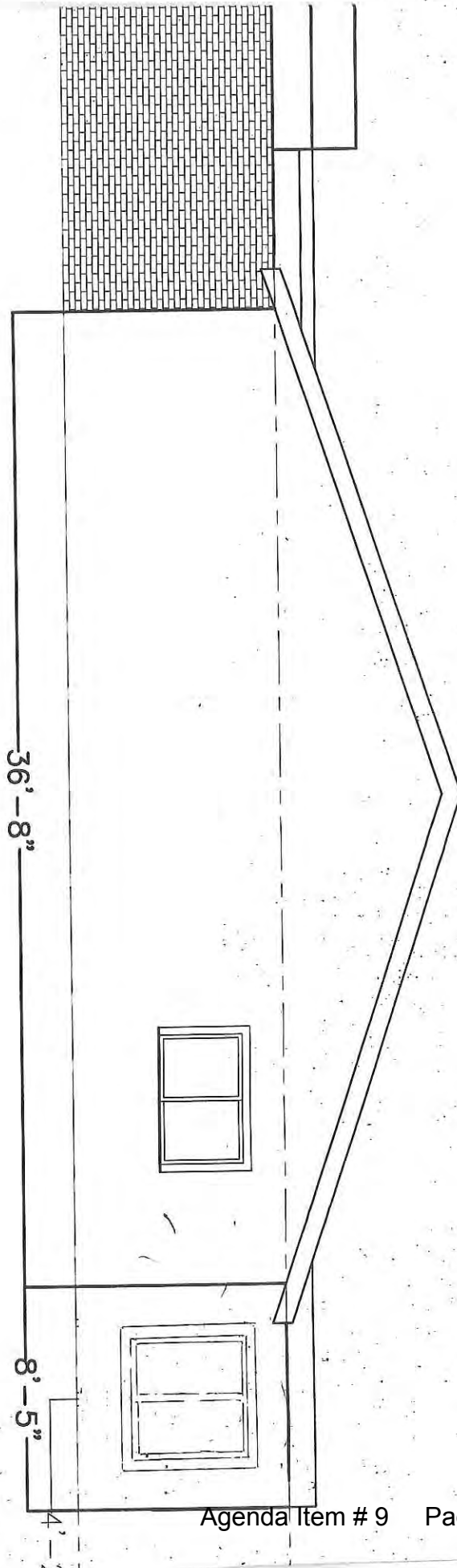




EAST ELEVATION (PROPOSED)

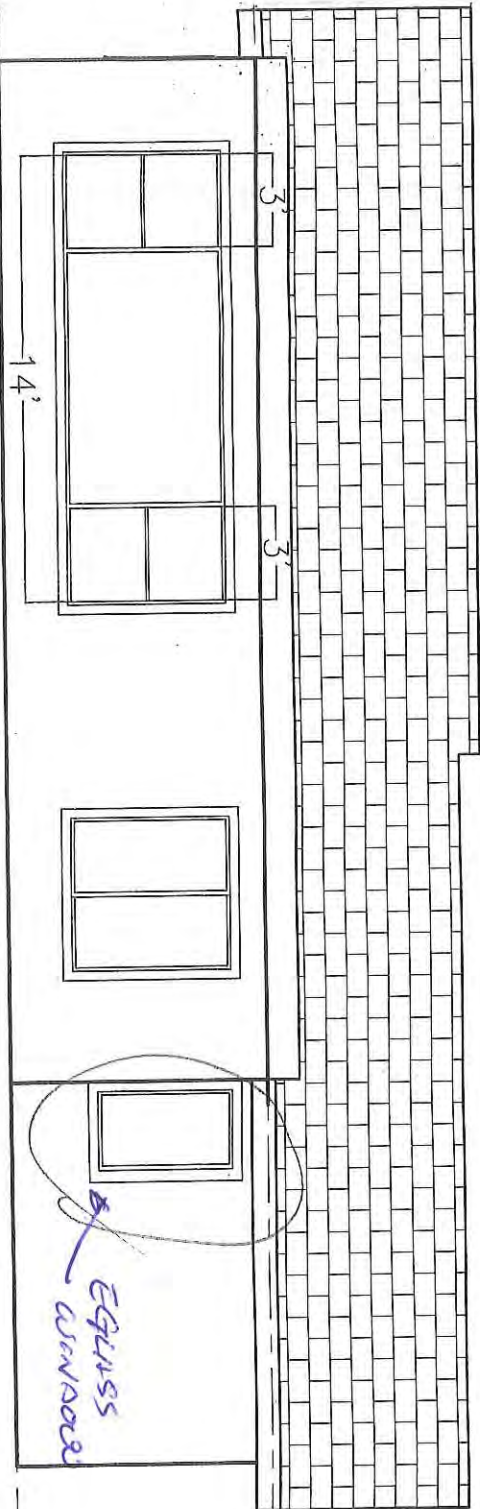
SCALE: 1/4" = 1'-0"

3461-C  
BARRIA BLANCA



WEST ELEVATION (PROPOSED)

SCALE: 1/4" = 1'-0"



EQUISS  
CENSO

ROOF  
8'-0"

Level 1  
0'-0"







Attachment: 3

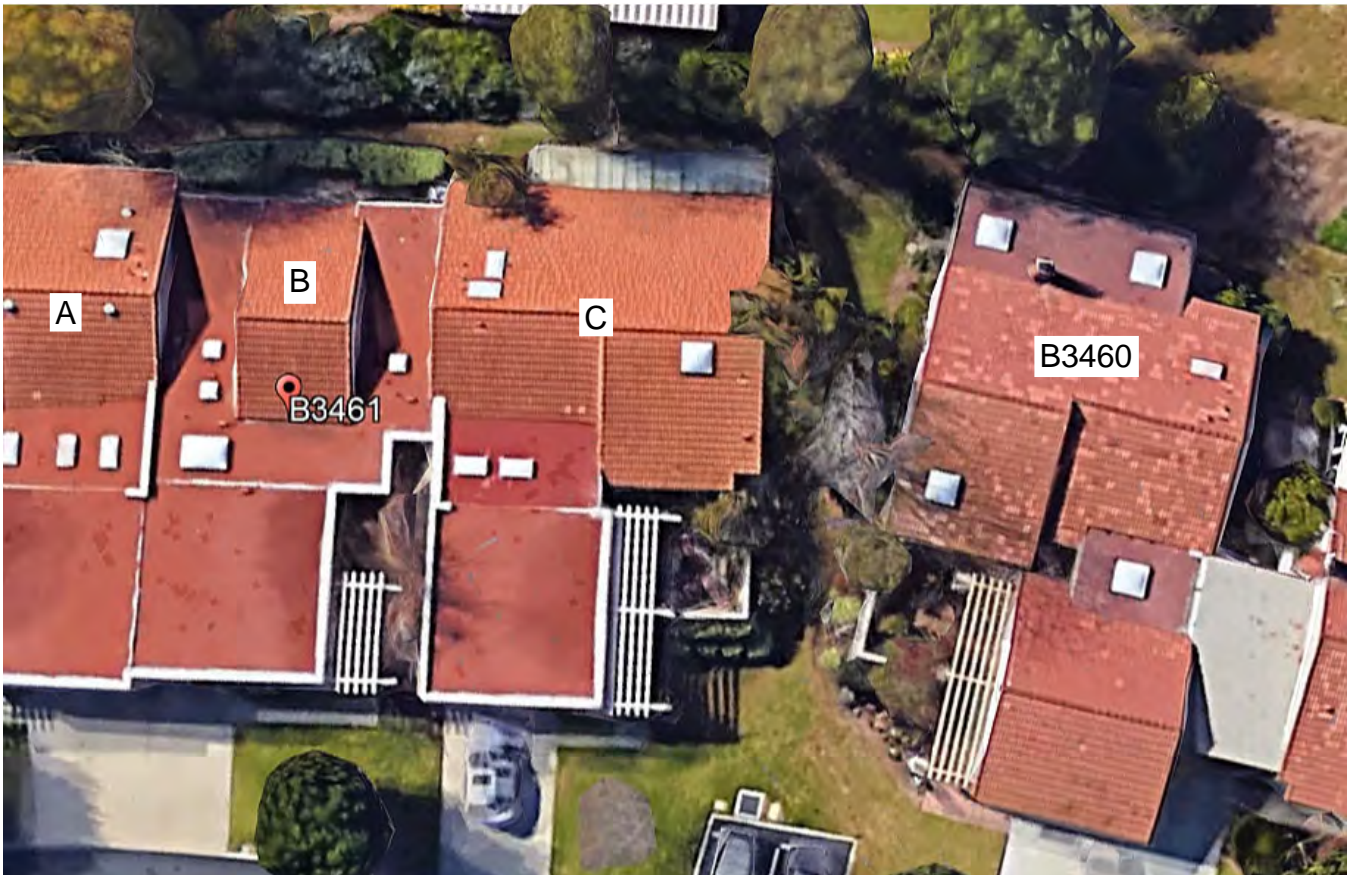








Attachment: 4





## **SECTION STANDARD 4: AIR CONDITIONING UNITS/HEAT PUMPS**

REVISED SEPTEMBER 2005, RESOLUTION 03-05-20  
REVISED FEBRUARY 2006, RESOLUTION 03-06-09  
REVISED SEPTEMBER 2006, RESOLUTION 03-06-40  
REVISED JULY 2010, RESOLUTION 03-10-100  
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49  
REVISED SEPTEMBER 2013, RESOLUTION 03-13-98  
REVISED JULY 2015, RESOLUTION 03-15-101  
REVISED JANUARY 2018, RESOLUTION 03-18-13  
**REVISED JULY 2019, RESOLUTION 03-XX-XX**

FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

### **2.0 THROUGH THE WALL A/C-H/P UNITS**

- 2.1** Units must be installed in knock-out panel areas, under windows, or as determined by the Alterations office, with due consideration given to the effect on adjoining manors.
- 2.2** No condensing unit may be located in or project into any walkway, breezeway, or interior court of a three-story building
- 2.3** Window mounted units are prohibited.
- 2.4** Condensing units must not be located at least 12" above grade, unless otherwise approved by the Alterations office due to site conditions.
- 2.6** Sleeves must be painted to match the color of the wall.
- 2.7** Above grade installation of heat pumps require condensation drain line connection to an approved discharge location. Mutual Member assumes all responsibilities for any damage that may occur from condensation.
- 2.8** In the absence of an approved alternate heat source, removal of the through-the-wall AC/Heat pump and wall condensing units is prohibited.
- 2.9** Removal of sleeves in stucco walls:
  - a. Removal of sleeves in three-story~~multi-story~~ buildings is prohibited.



- b. Removal of sleeves in stucco walls of [one and two single](#) story buildings shall be evaluated on a case-by-case basis. A variance may be required.
- c. When permitted, removal of sleeves in stucco walls require that the patch must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The texture and color must match the existing wall. [On balconies, the spacing between the wrought iron and exterior of the building will be required to meet Code regulations. Lead samples may be requested by the Alterations Division.](#)
- d. Removal of sleeves in walls with wood siding must be made in accordance with standard construction practices to maintain the water proof integrity of the wall. The entire section of wood siding under a window, from trim to trim, must be replaced and the texture and color must match the existing wood siding.

### **3.0 CENTRAL AND DUCTLESS UNITS**

- 3.1** Only one condensing unit per manor is permitted.
- 3.2** Roof-mounted self-contained package units are prohibited.
- 3.3** No outdoor condensing unit will be larger than 48" high, 37" wide, and 36" deep.
- 3.4** Outdoor condensing units for single level manors shall be installed at ground level only.
- 3.5** Outdoor condensing unit locations for two story buildings are as follows: first floor manors shall be installed at ground level, second floor manors shall be installed only flat roofs, directly above the manor, or at ground level.
- 3.6** Outdoor condensing unit locations for three story buildings are as follows: first floor manors shall be installed at ground level, second floor manors shall be installed on flat roofs directly above the manor, or at ground level, third floor manors will be installed only on flat roofs, directly above the manor.
- 3.7** The location of outdoor condensing units must be approved by the Alterations office. Prior to permit issuance, consideration will be given to any affected or adjoining manors. The Mutual Member is required to submit signed Neighbor Awareness forms as deemed necessary by the Alterations office.
- 3.8** All landscape and irrigation revisions required to accommodate the location of an outdoor condensing unit must be performed by the Mutual at the Mutual Member's expense.



- 3.9** Ground level outdoor condensing units must be located within 24" of the building wall and mounted on a manufactured non-metallic and/or concrete pad.
- 3.10** All exterior wiring, condensate, and coolant lines must be encased in a single, square sheet metal two-piece chaseway painted to match the color of the wall to which it is attached. Roof mounted chases or ducts are prohibited.
- 3.11** The chaseway must be made rodent proof by installing wire mesh at the bottom of the chaseway.
- 3.12** Watertight seals must be provided around all penetrations.
- 3.13** Each installation on a building's elevation that faces another building or heavily traveled common area will be limited to one run and the length must be kept to a minimum and as unobtrusive as possible.
- 3.14** Each installation on a building's elevation that does not face another building or heavily traveled common area will be limited to three runs, and the lengths must be kept to a minimum and be as unobtrusive as possible.
- 3.15** Cutting of a cornice molding to accommodate a chaseway shall be performed by removing the affected section of molding, cutting the metal flashing at both ends, applying sealant under the metal flashing, bending the metal flashing to be flush with the wall and fastening the metal flashing in place using screws. Sealant shall be applied as needed and the cut ends of the cornice molding shall be sealed.
- 3.16** Roof-mounted condensing units must be mounted on a raised platform constructed per Mutual approved Standard Plan drawings. All tie-ins to a PVC Cool Roof must be performed by a certified roofing contractor. A Roofing Contractor Verification form will be required prior to the issuance of a permit.
- 3.17** Cutting or altering of roof trusses for the installation of air handlers in attic spaces is strictly prohibited.
- 3.18** When air handlers are installed in water heater closets, sufficient space must be provided above and around the water heater for repair and replacement of the water heater.



## **Section ~~STANDARD~~ 38: PATIO ENCLOSURES**

ADOPTED SEPTEMBER 2006, RESOLUTION 03-06-43  
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49  
**REVISED JULY 2019, RESOLUTION 03-19-XX**

### **1.0 GENERAL REQUIREMENTS**

See Standard Section 1: General Requirements

### **2.0 SPECIFICATIONS/ APPLICATIONS**

**2.1** A patio is a concrete slab area that adjoins the manor at ground level, and does not serve as a walkway or landing. An enclosure can only be installed on the manor's original patio footprint.

**2.2** A patio enclosure cannot be installed in an area where a Standard Plan exists for a room addition.

**2.3** Enclosures may not extend beyond the original construction footprint of an original patio.

**2.4** If a patio lies beneath a balcony, the newly constructed enclosure must have an approved gutter system.

**2.5** Patios may be partially enclosed with the exception of 3-story buildings. Patio enclosures shall encompass the entire footprint in 3-story buildings.

**2.6** No doors are permitted in patio enclosures installed on the 1<sup>st</sup> story manors of 3-story buildings.

**2.7** In no case shall additional plumbing, heating fixtures or air conditioning units be added as part of such enclosure, nor shall existing central HVAC systems condition an enclosure.

**2.8** Air conditioners/heat pumps cannot exhaust into an enclosure.

**2.9** Plastic panels as produced by the manufacturer of patio covers or enclosures may be installed per ~~International Conference of Building~~



~~Officials (I.C.B.O.)~~ California Building Code approved specifications outlined by the manufacturer. No corrugated, non-structural panels will be allowed.

- 2.10 Any changes to the existing structure to allow for track or framework must be approved in writing prior to issuance of a ~~permit~~ consent.
- 2.11 All work and material required to complete patio enclosures shall conform to all applicable city codes and/or state ordinances not included herein. Plans and specifications shall be submitted to Permits and Inspections at time of application for ~~permit~~ consent.

### 3.0 **SURFACE PREPARATION**

- 3.1 Prior to any installation, existing patio surfaces (slabs, wood beams, wood fascia, etc.) shall be checked for any defects or irregularities which might affect such installation or cause any future damages to the building.
- 3.2 All attachments to the patio slab must be directly to the patio surface, not applied over any type of material applied over the patio surface.

### 4.0 **FRAME OR TRACK**

- 4.1 Frames and/or tracks are to be of aluminum only. Wood framing is prohibited. The dimensions shall be kept to a minimum to optimize the area of glass firmly in place. All aluminum shall be anodized bronze unless others exist if attached to a dark painted surface; aluminum or white powder coated color if attached to a light surface. Pre-existing enclosures on the building shall set color precedence on the same elevation.
- 4.2 All glass and screens must be readily removable by lifting out of a track without the use of tools.
- 4.3 All frames must be inside of existing handrails as indicated on approved drawing details and provide sufficient clearance for future maintenance of the handrail.



4.4 Slump stone kneewalls may be utilized as part of the patio enclosure if the wall is constructed to accept the application.

4.5 Enclosures shall have proper downspouts with splash blocks in accordance with Mutual Standard:18, Gutters/Downspouts.

## 5.0 TYPE OF GLASS

5.1 All glass used must be clear in nature and be of tempered-type safety glass; no less than 1/8" thick. Installation of a structure with glass that is thicker than 1/8" could be considered a habitable room addition and California Building Code specifications for engineering would be required for the structure, and may require Board approval. ~~to be determined by the Permits and Inspections office.~~

5.2 Glass shall be single-pane type. See 4.2

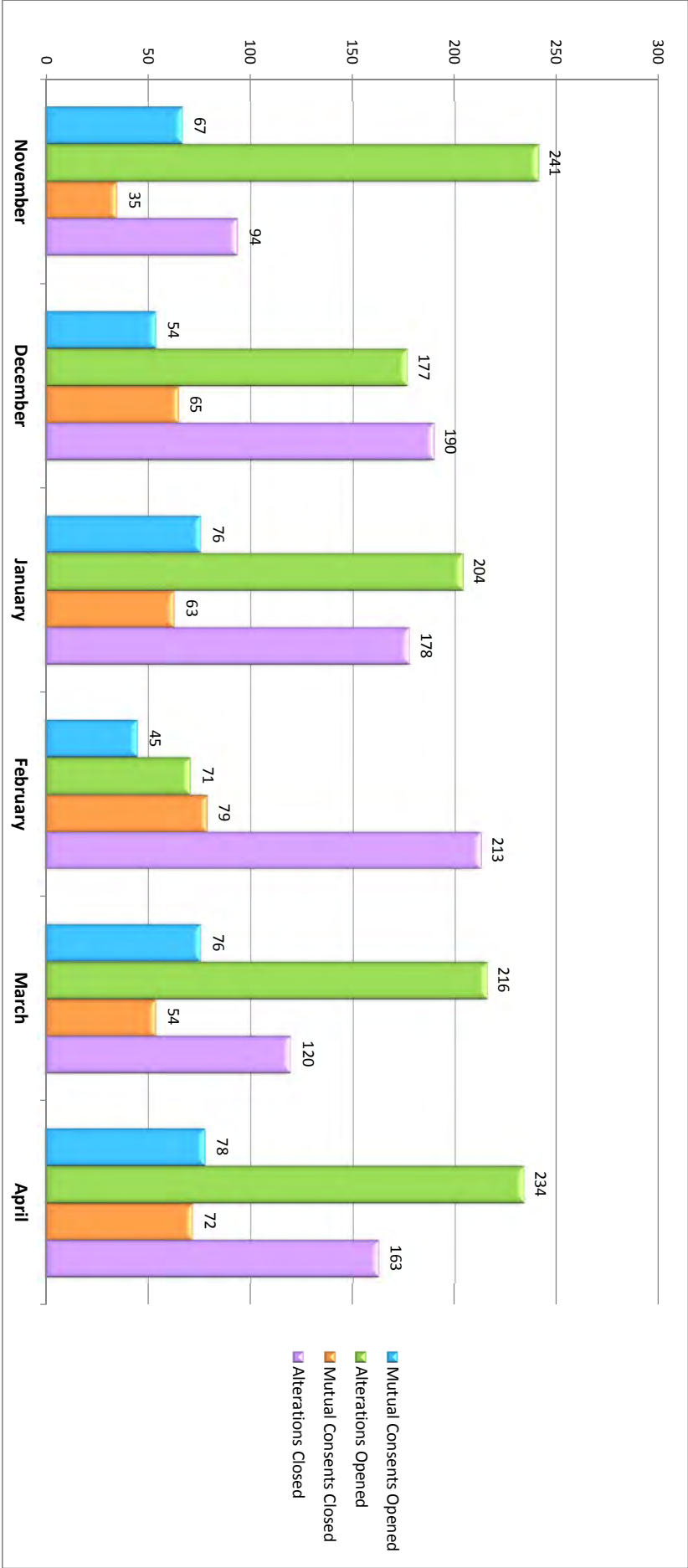
5.3 Frosted, bottle-type, stained, or louvered-glass type shall not be allowed.

5.4 Solar glass, tinted glass, smoke-type glass or film that is applied to glass at the time of manufacture shall be accepted provided it conforms to Sec. 5.5.

5.5 Reflective tints or films applied to glass after manufacture may be applied to glass providing it does not have a reflectivity factor of more than **15%**. Documentation of such material must be on hand and approved before such application.



Permits and Alterations Division  
Mutual Consents Report  
Third Mutual



	November	December	January	February	March	April	Total	
Opened	Mutual Consents	67	54	76	45	76	78	396
	Alterations	241	177	204	71	216	234	1143
Closed	Mutual Consents	35	65	63	79	54	72	368
	Alterations	94	190	178	213	120	163	958

\* One Mutual Consent may contain multiple individual Alterations